

FENDER KATSALIDIS

309 King Street Newcastle 2302

PROJECT NO: 22104

DEVELOPMENT APPLICATION

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*drawings underlined have been amended for this issue ONLY

BIMcloud: kaspgrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODEL/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
01	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
02	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
03	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	06.10.2023
04	AMENDED SECTION 4.55 APPLICATION SUBMISSION	TF	06.11.2023
05	SECTION 4.55 RFI SUBMISSION	TA	30.11.2023
> 06	SECTION 4.55 RFI SUBMISSION	TF	17.01.2024

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
TF	17.01.2024	TF	18.01.2024	22104	N.T.S.@A3

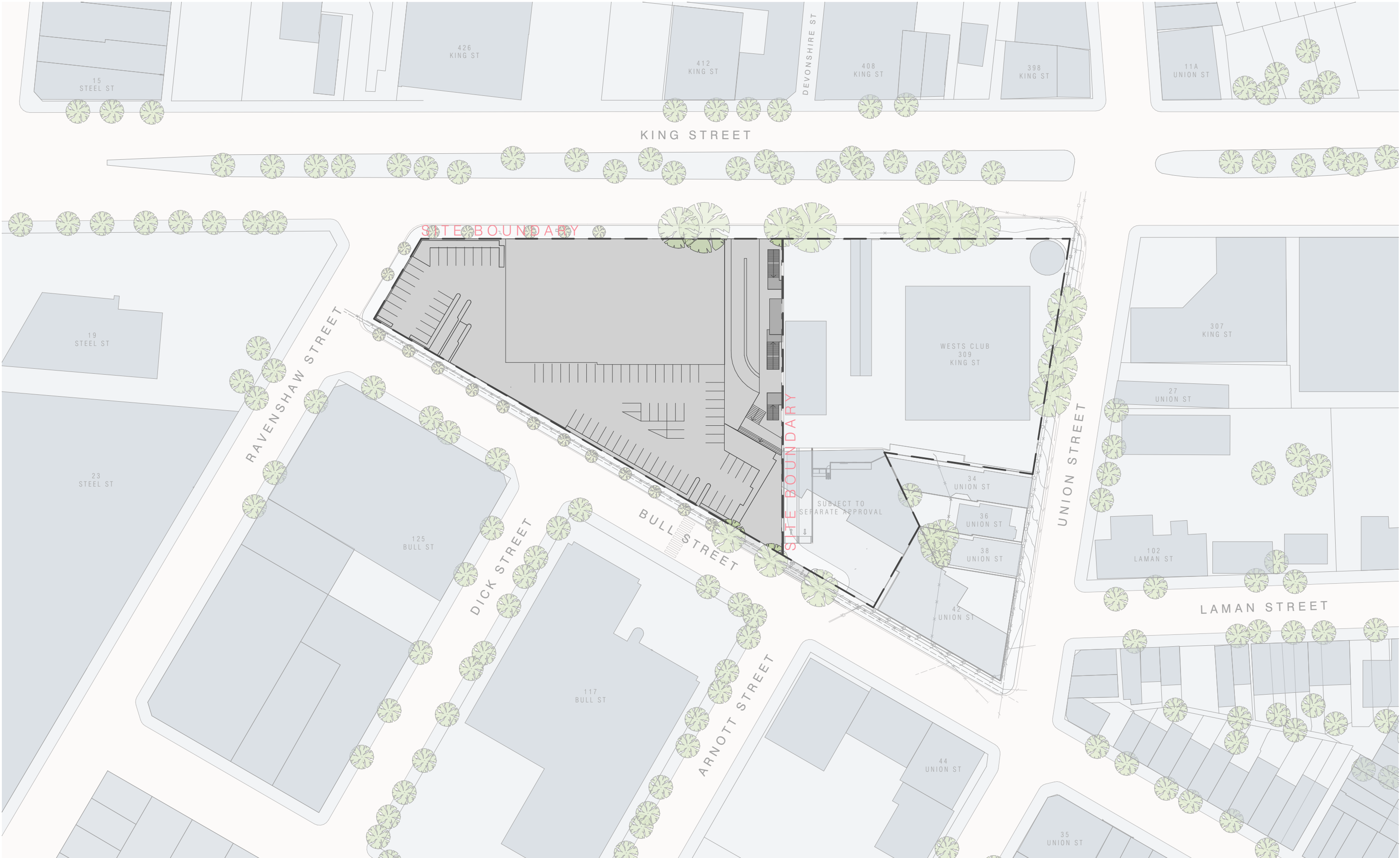
PROJECT
309 King Street Newcastle NSW 2302

DRAWING TITLE
DRAWING LIST

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
06	DA0000



BIMcloud: fkaasprdbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
01	PRE DEVELOPMENT APPLICATION	IM	19.04.2018
02	DEVELOPMENT APPLICATION	MP	29.08.2018
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019
04	FOR COUNCIL DISCUSSION	PM	28.11.2022
05	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
06	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.06.2023	RM	30.11.2023	22104	1:1000@A3



PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
EXISTING SITE PLAN

FENDER KATSALIDIS
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ISSUE PURPOSE
4.55 APPLICATION



REV. 06
DRAWING NO. DA030



BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION				REVISION			
01	PRE DEVELOPMENT APPLICATION	IM	19.04.2018	09	ISSUE FOR REVIEW	RAS	06.04.2023
02	DEVELOPMENT APPLICATION	MP	29.08.2018	10	TOWER A AND B SCHEMATIC DESIGN	PM	17.05.2023
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019	> 11	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
04	DEVELOPMENT APPLICATION, AMENDED	NZ	22.05.2020				
05	FOR HUNTER AND CENTRAL COAST REGIONAL PLANNING PANEL SUBMISSION	NZ	26.02.2021				
06	FOR COUNCIL DISCUSSION	PM	28.11.2022				
07	CONCEPT DESIGN ISSUE	RAS	03.02.2023				
		AR	03.03.2023				

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.06.2023	RM	30.11.2023	22104	1:1000@A3

PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
PROPOSED SITE PLAN

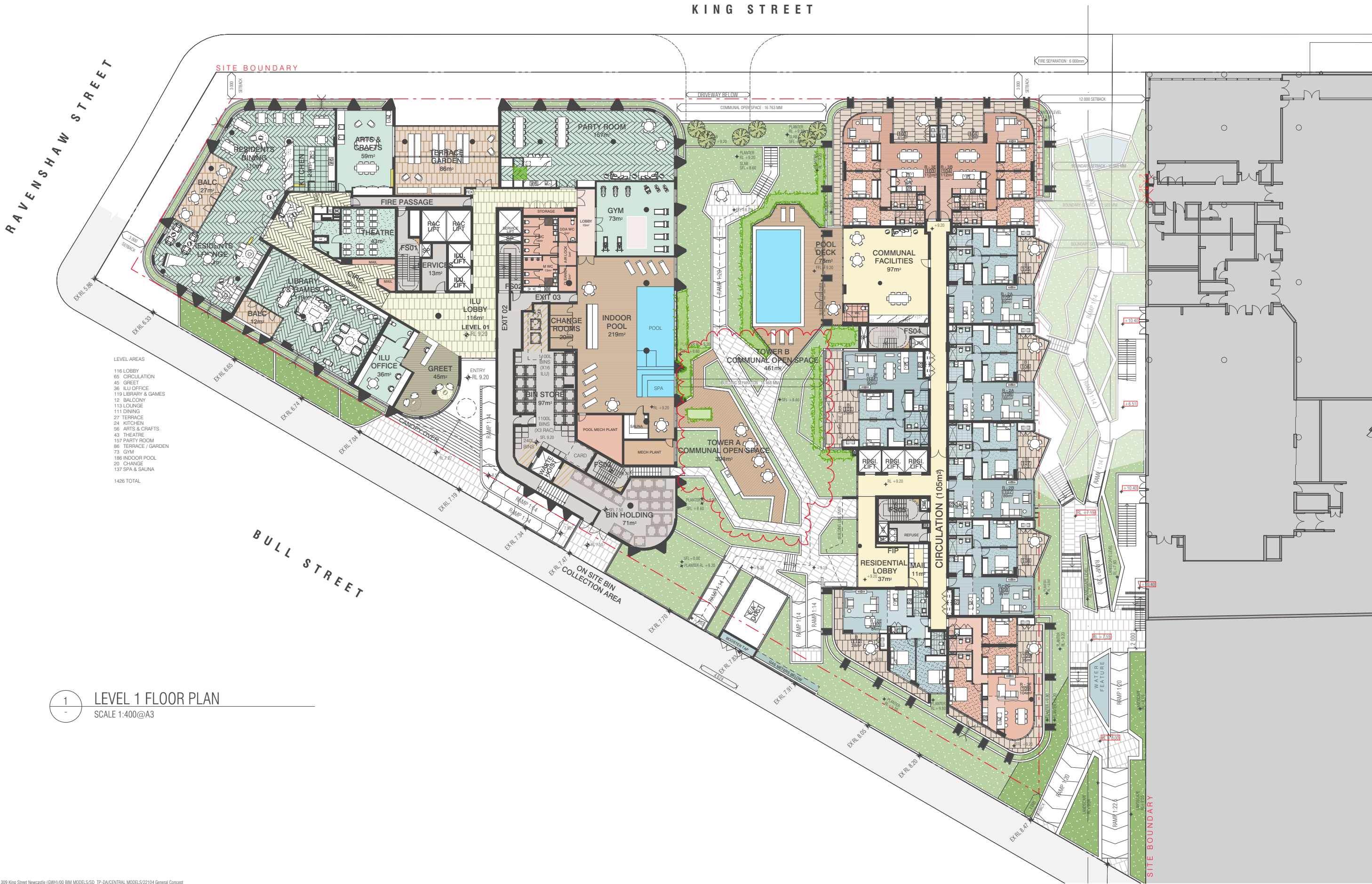
FENDER KATSAIDIS
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ISSUE PURPOSE
4.55 APPLICATION

REV. 11
DRAWING NO. DA031



1 BASEMENT 02 FLOOR PLAN
SCALE 1:400@A3



1 LEVEL 1 FLOOR PLAN
SCALE 1:400@A3

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)00 BIM MODEL/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		
01	PRE DEVELOPMENT APPLICATION	BB 11.04.2018
02	DEVELOPMENT APPLICATION	IM 29.08.2019
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB 19.08.2019
04	DEVELOPMENT APPLICATION_AMENDED	NZ 22.05.2020
05	PRELIMINARY FOR COUNCIL REVIEW AND DISCUSSION	NZ 18.02.2021
06	FOR HUNTER AND CENTRAL COAST REGIONAL PLANNING PANEL SUBMISSION	NZ 26.02.2021
07	FOR COUNCIL DISCUSSION	PM 28.11.2022
		RAS 03.02.2023

REVISION		
09	TOWER B - SCHEMATIC DESIGN	
10	ISSUE FOR REVIEW	
11	AMENDED SECTION 4.55 APPLICATION SUBMISSION	
12	SECTION 4.55 RFI SUBMISSION	
> 13	SECTION 4.55 RFI SUBMISSION	

AR	03.03.2023
RAS	06.04.2023
RL	04.10.2023
TA	30.11.2023
TA	17.01.2024

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	17.01.2024	RM	18.01.2024	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302

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ISSUE PURPOSE
4.55 APPLICATION

REV. 13
DRAWING NO. DA101



1 LEVEL 2 FLOOR PLAN RAC
SCALE 1:400@A3

BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
01	PRE DEVELOPMENT APPLICATION	BB	11.04.2018
02	DEVELOPMENT APPLICATION	IM	29.08.2019
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019
05	CONCEPT DESIGN ISSUE	RAS	03.02.2023
06	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
07	ISSUE FOR REVIEW	RAS	06.04.2023
> 08	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	04.10.2023	RM	30.11.2023	22104	1:400@A3



PROJECT
309 King Street
Newcastle NSW 2302
DRAWING TITLE
LEVEL 2 FLOOR PLAN

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ISSUE PURPOSE
4.55 APPLICATION

REV. 08
DRAWING NO. DA102



1 LEVEL 3 FLOOR PLAN RAC
SCALE 1:400@A3

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REVISION		REVISION	
01	PRE DEVELOPMENT APPLICATION	BB	11.04.2018
02	DEVELOPMENT APPLICATION	IM	29.08.2019
03	DEVELOPMENT APPLICATION FOR COUNCIL	PM	19.08.2019
04	CONCEPT DESIGN ISSUE	RAS	03.02.2023
05	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
06	ISSUE FOR REVIEW	RAS	06.04.2023
07	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE	DRAWING TITLE
IM	04.10.2023	RM	30.11.2023	22104	1:400@A3	LEVEL 3 FLOOR PLAN

PROJECT
309 King Street
Newcastle NSW 2302

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ISSUE PURPOSE
4.55 APPLICATION

REV. 07
DRAWING NO. DA103



1 LEVEL 5 FLOOR PLAN
SCALE 1:400@A3

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REVISION		REVISION		TF	06.06.2023
01	PRE DEVELOPMENT APPLICATION	BB	11.04.2018		
02	DEVELOPMENT APPLICATION	IM	29.08.2019		
03	DEVELOPMENT APPLICATION FOR COUNCIL	PM	19.08.2019		
05	CONCEPT DESIGN ISSUE	RAS	03.02.2023		
06	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023		
07	ISSUE FOR REVIEW	RAS	06.04.2023		
08	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023		
		TF	17.05.2023		
REVISION		REVISION		TF	06.06.2023
10	SECTION 4.55 APPLICATION SUBMISSION				
> 11	AMENDED SECTION 4.55 APPLICATION SUBMISSION				

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	04.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
LEVEL 5 FLOOR PLAN

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FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV. 11
DRAWING NO. DA105



1 LEVEL 7 FLOOR PLAN
SCALE 1:400@A3



1 LEVEL 8 FLOOR PLAN
SCALE 1:400@A3

BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	CONCEPT DESIGN ISSUE	RAS	03.02.2023
01	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
02	ISSUE FOR REVIEW	RAS	06.04.2023
03	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023
04	TOWER A AND B SCHEMATIC DESIGN	TF	17.05.2023
05	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 06	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

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PROJECT
309 King Street
Newcastle NSW 2302
DRAWING TITLE
LEVEL 8 FLOOR PLAN

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ISSUE PURPOSE
4.55 APPLICATION

REV. 06
DRAWING NO.
DA108



1 LEVEL 9 FLOOR PLAN
SCALE 1:400@A3

BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	CONCEPT DESIGN ISSUE	RAS	03.02.2023
01	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
02	ISSUE FOR REVIEW	RAS	06.04.2023
03	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023
04	TOWER A AND B SCHEMATIC DESIGN	TF	17.05.2023
05	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 06	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM	
<input type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	04.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302
DRAWING TITLE
LEVEL 9 FLOOR PLAN

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

REV. 06
DRAWING NO.
DA109



1 LEVEL 10 FLOORPLAN
SCALE 1:400@A3



1 LEVEL 11 FLOORPLAN
SCALE 1:400@A3

BIMcloud: kaspdrim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	CONCEPT DESIGN ISSUE	RAS	03.02.2023
01	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
02	ISSUE FOR REVIEW	RAS	06.04.2023
03	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023
04	TOWER A AND B SCHEMATIC DESIGN	TF	17.05.2023
05	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 06	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	04.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302
DRAWING TITLE
LEVEL 11 FLOOR PLAN

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

REV. 06
DRAWING NO.
DA111



1 LEVEL 12 FLOORPLAN
SCALE 1:400@A3

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	CONCEPT DESIGN ISSUE	RAS	03.02.2023
01	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
02	ISSUE FOR REVIEW	RAS	06.04.2023
03	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023
04	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
05	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 06	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

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☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	04.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302
DRAWING TITLE
LEVEL 12 FLOOR PLAN

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

REV. 06
DRAWING NO. DA112



1 LEVEL 13 FLOORPLAN
SCALE 1:400@A3



1
-
LEVEL 14 FLOORPLAN
SCALE 1:400@A3



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REVISION		REVISION	
-	FOR COUNCIL DISCUSSION	PM	28.11.2022
01	CONCEPT DESIGN ISSUE	RAS	03.02.2023
02	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
03	ISSUE FOR REVIEW	RAS	06.04.2023
04	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023
05	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
06	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
		RL	27.09.2023

REVISION		REVISION	
08	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
09	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	06.10.2023
> 10	RFI AMENDMENTS SHOWN CLOUDED	TF	03.11.2023

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☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	03.11.2023	PM	30.11.2023	22104	1:400@A3



PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

LEVEL 15 FLOOR PLAN

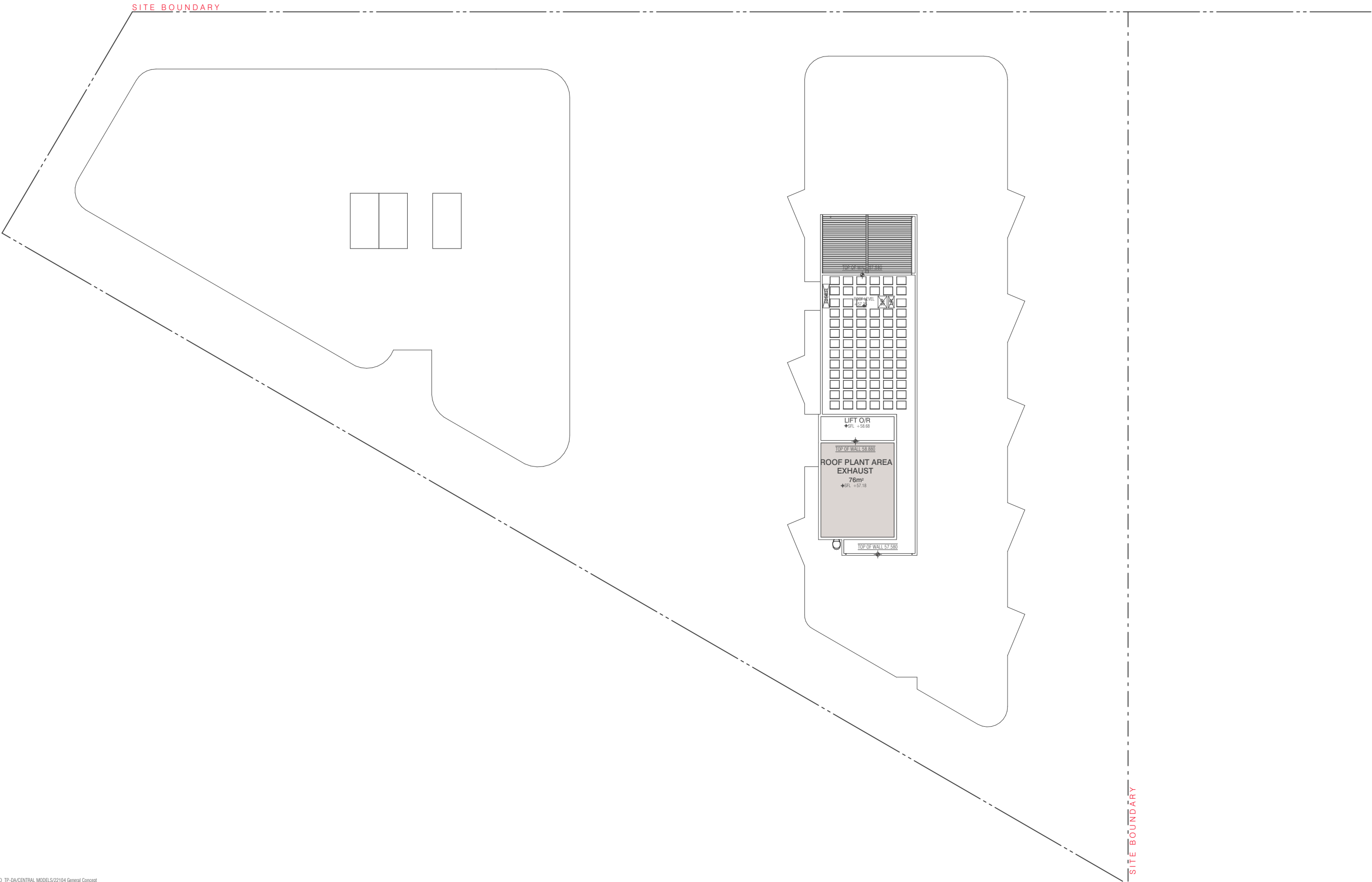
FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

4.55 APPLICATION



REV. 10
DRAWING NO. DA115



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REVISION			REVISION		
-	FOR COUNCIL DISCUSSION	PM	28.11.2022	08	AMENDED SECTION 4.55 APPLICATION SUBMISSION
01	CONCEPT DESIGN ISSUE	RAS	03.02.2023	RL	06.10.2023
02	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023		
03	ISSUE FOR REVIEW	RAS	06.04.2023		
04	TOWER A SCHEMATIC DESIGN	RAS	18.04.2023		
05	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023		
06	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023		
		RL	04.10.2023		

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☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
☐ **CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.**
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AR	06.10.2023	PM	30.11.2023	22104	1:400@A3



PROJECT
309 King Street
Newcastle NSW 2302

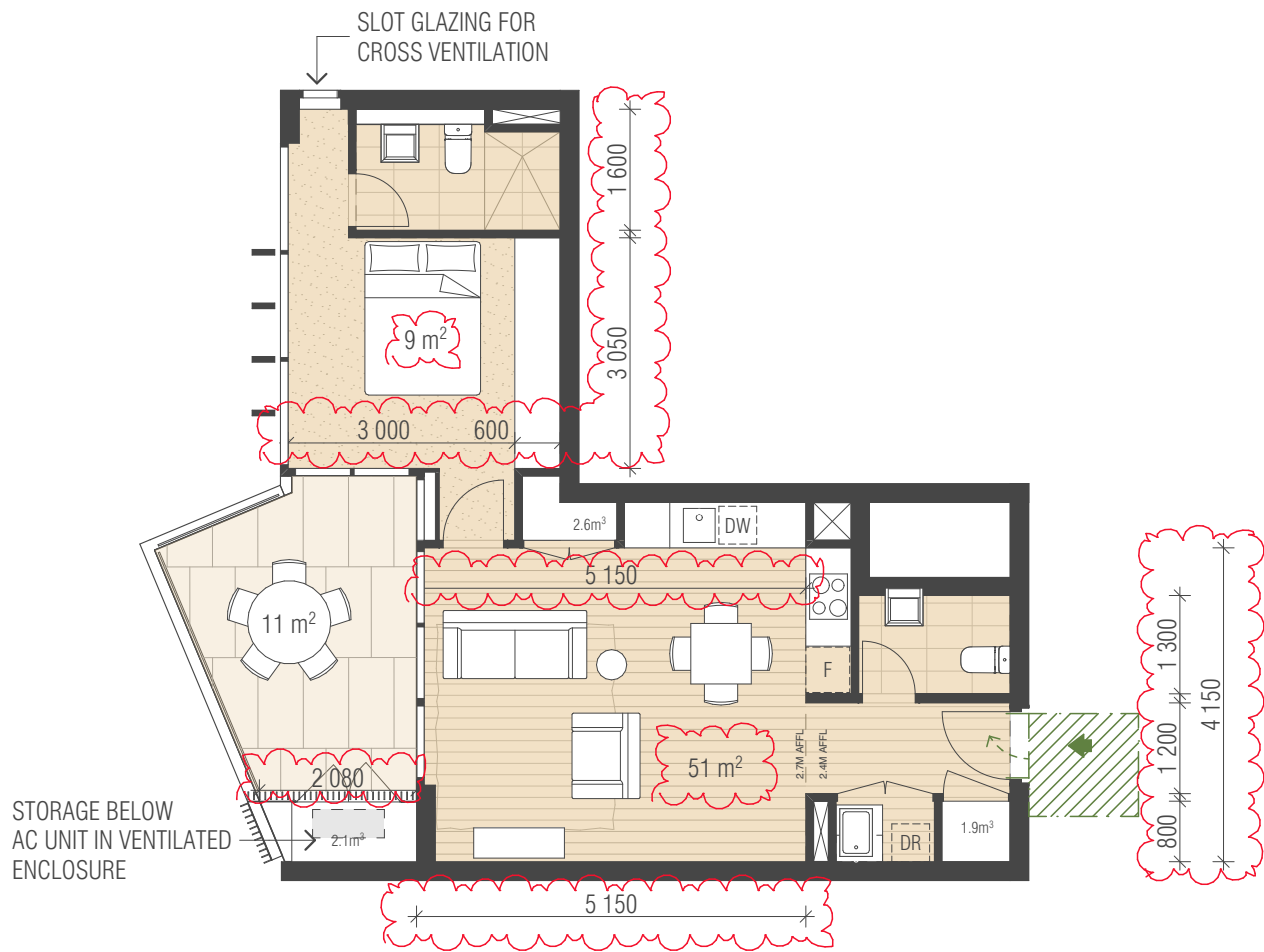
DRAWING TITLE
LEVEL 16 ROOF PLAN

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION



REV. 08
DRAWING NO. DA116



APARTMENT TYPE 1A

TYPICAL ONE BED APARTMENT

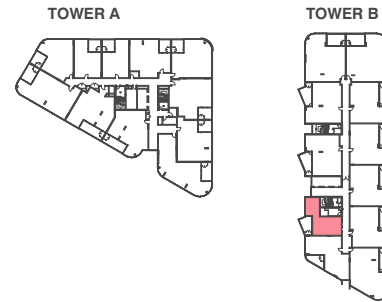
LOCATION: WEST FACADE
QUANTITY: 10
LEVELS: 2, 3, 5-8, 11-14



APARTMENT TYPE 1B - SILVER LIVABLE

TYPICAL ONE BED APARTMENT
TO LIVING HOUSING GUIDELINES SILVER STANDARD

LOCATION: WEST FACADE
QUANTITY: 3
LEVELS: 4, 9-10



BIMcloud: fkaasprdbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
01	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019
02	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
03	TOWER A SCHEMATIC DESIGN RAC	PM	18.04.2023
04	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
05	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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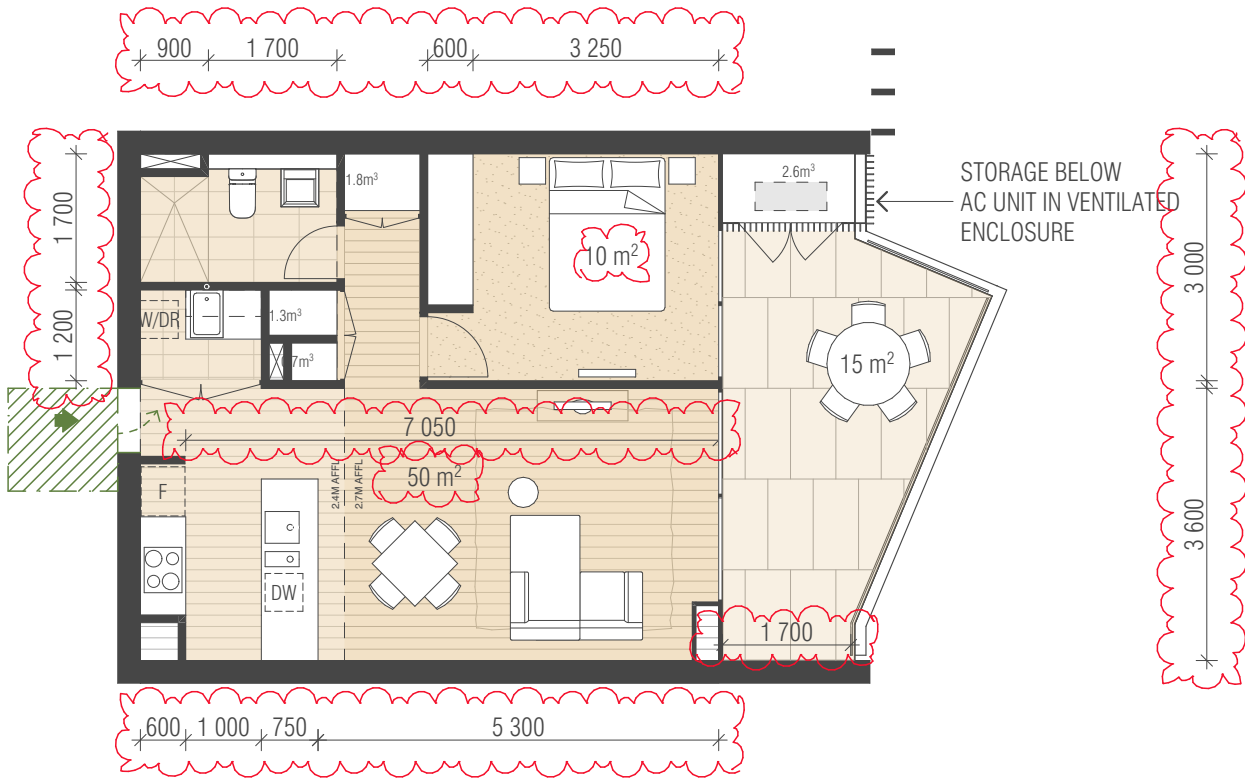
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
BB	06.06.2023	RM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
TOWER B APARTMENT TYPES 1A & 1B

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

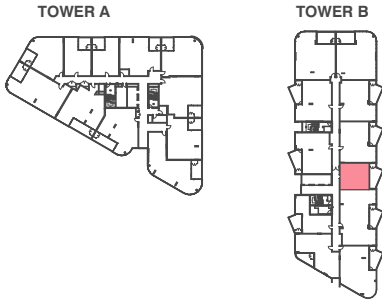
REV.	DRAWING NO.
05	DA121



APARTMENT TYPE 1C

TYPICAL ONE BED APARTMENT

LOCATION: EAST FACADE
QUANTITY: 7
LEVELS: 8-14



BIMcloud: fkaasprdbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	TOWER B - APARTMENT TYPE 1C	TF	17.05.2023
01	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 02	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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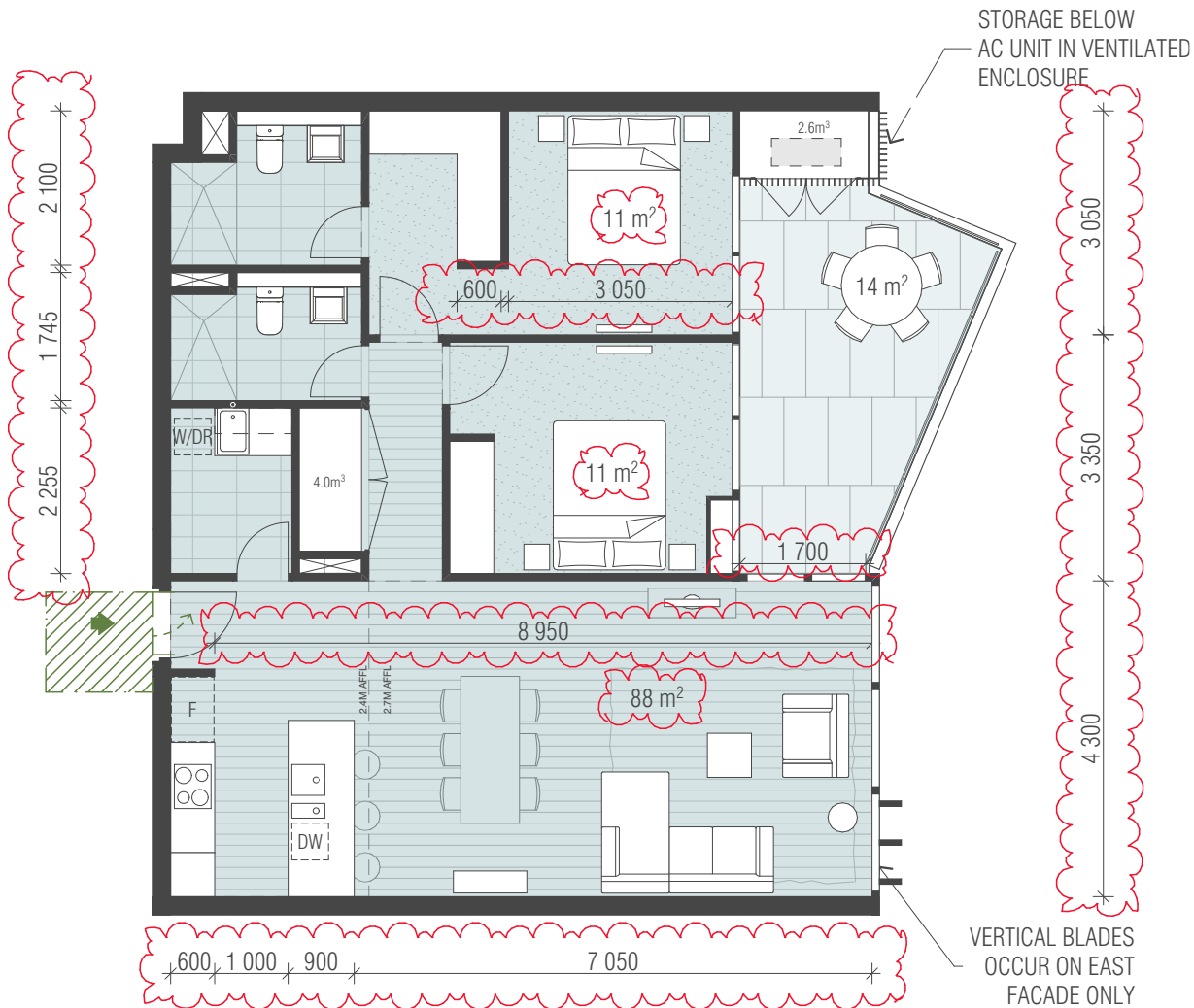
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
PM	06.06.2023	PM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
TOWER B - APARTMENT TYPE 1C

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

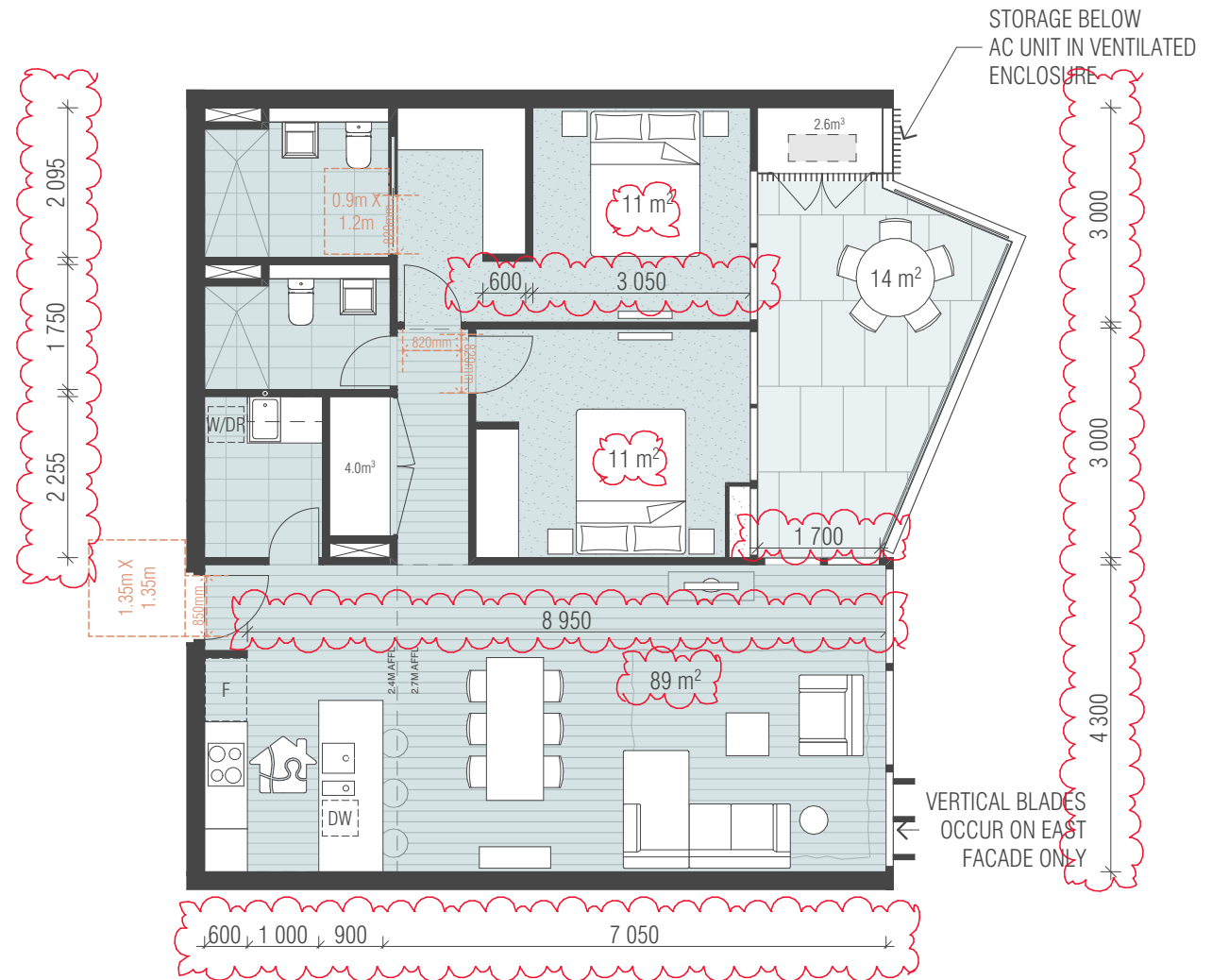
REV.	DRAWING NO.
02	DA122



APARTMENT TYPE 2A

TYPICAL TWO BED APARTMENT

LOCATION: EAST FACADE
QUANTITY: 22
LEVELS: 1 -14



APARTMENT TYPE 2B - SILVER LIVABLE

TYPICAL TWO BED APARTMENT
TO LIVING HOUSING GUIDELINE SILVER STANDARD

LOCATION: EAST FACADE
QUANTITY: 13
LEVELS: 1-11



BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	15.02.2023
01	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
02	TOWER A SCHEMATIC DESIGN RAC	PM	18.04.2023
03	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 04	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	06.06.2023	RM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302

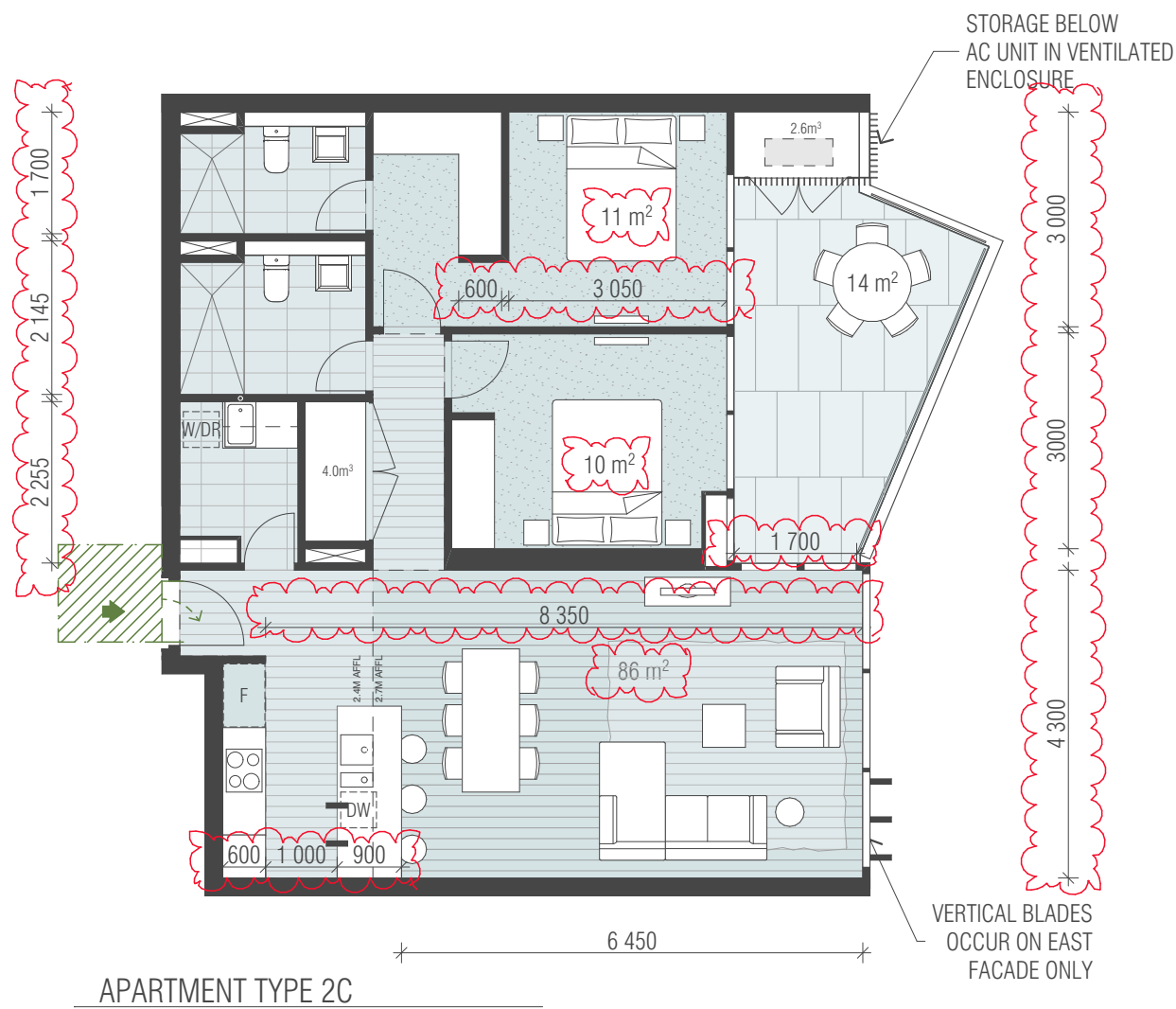
DRAWING TITLE
TOWER B - APARTMENT TYPES 2A & 2B

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

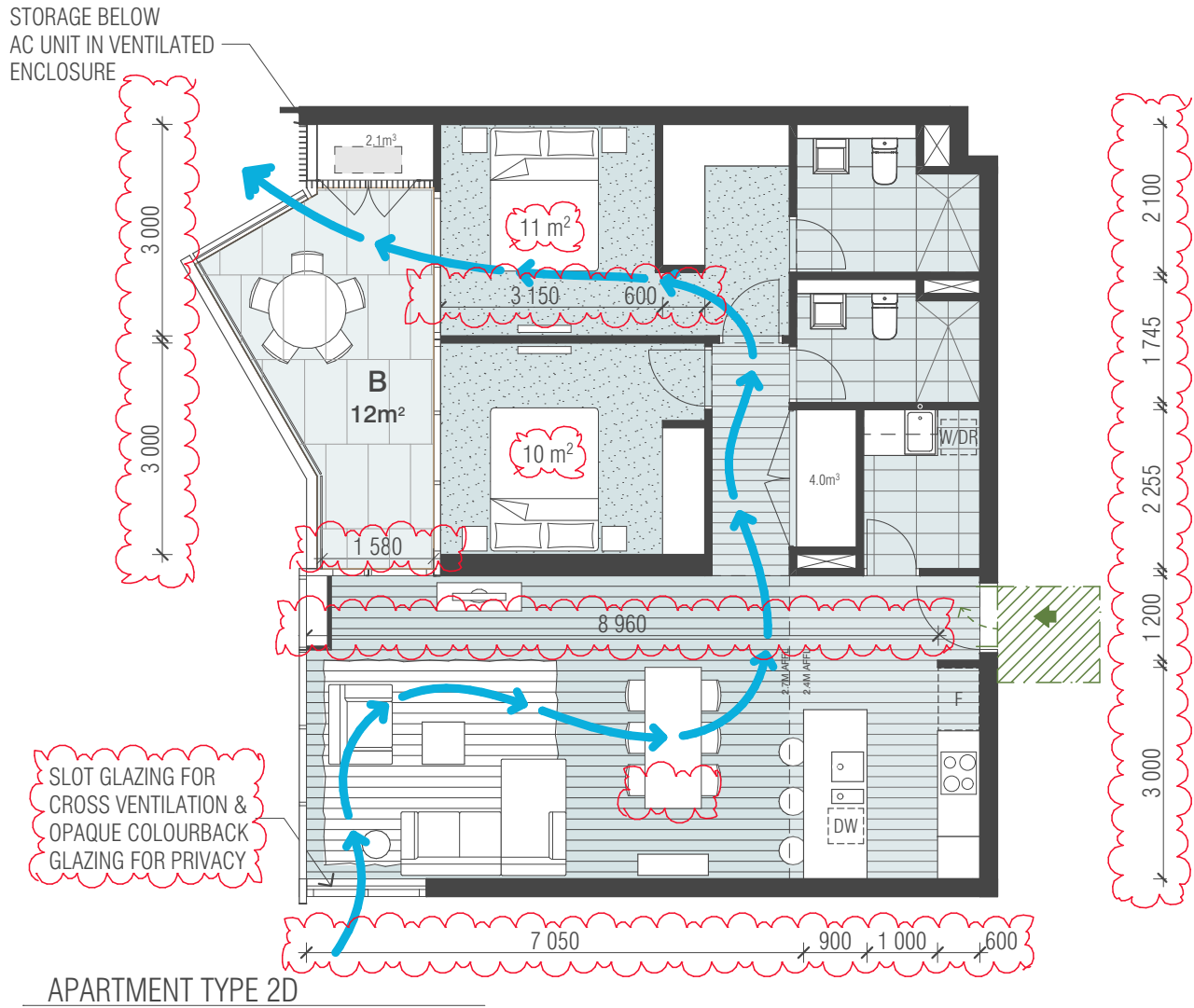


REV.	DRAWING NO.
04	DA130



TYPICAL TWO BED APARTMENT
WITH SERVICE RISERS TO CORRIDOR AT REAR

LOCATION: EAST FACADE
QUANTITY: 7
LEVELS: 1-7



TYPICAL TWO BED APARTMENT WITH BALCONY*

LOCATION: WEST FACADE
QUANTITY: 13
LEVELS: 2-14
*NOTE: LEVEL 2- 4 HAVE TERRACES
NATURALLY VENTILATED



BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	15.02.2023
01	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
> 02	TOWER A SCHEMATIC DESIGN RAC	PM	18.04.2023

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM	
<input type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
<input type="checkbox"/>	TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	18.04.2023	RM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302

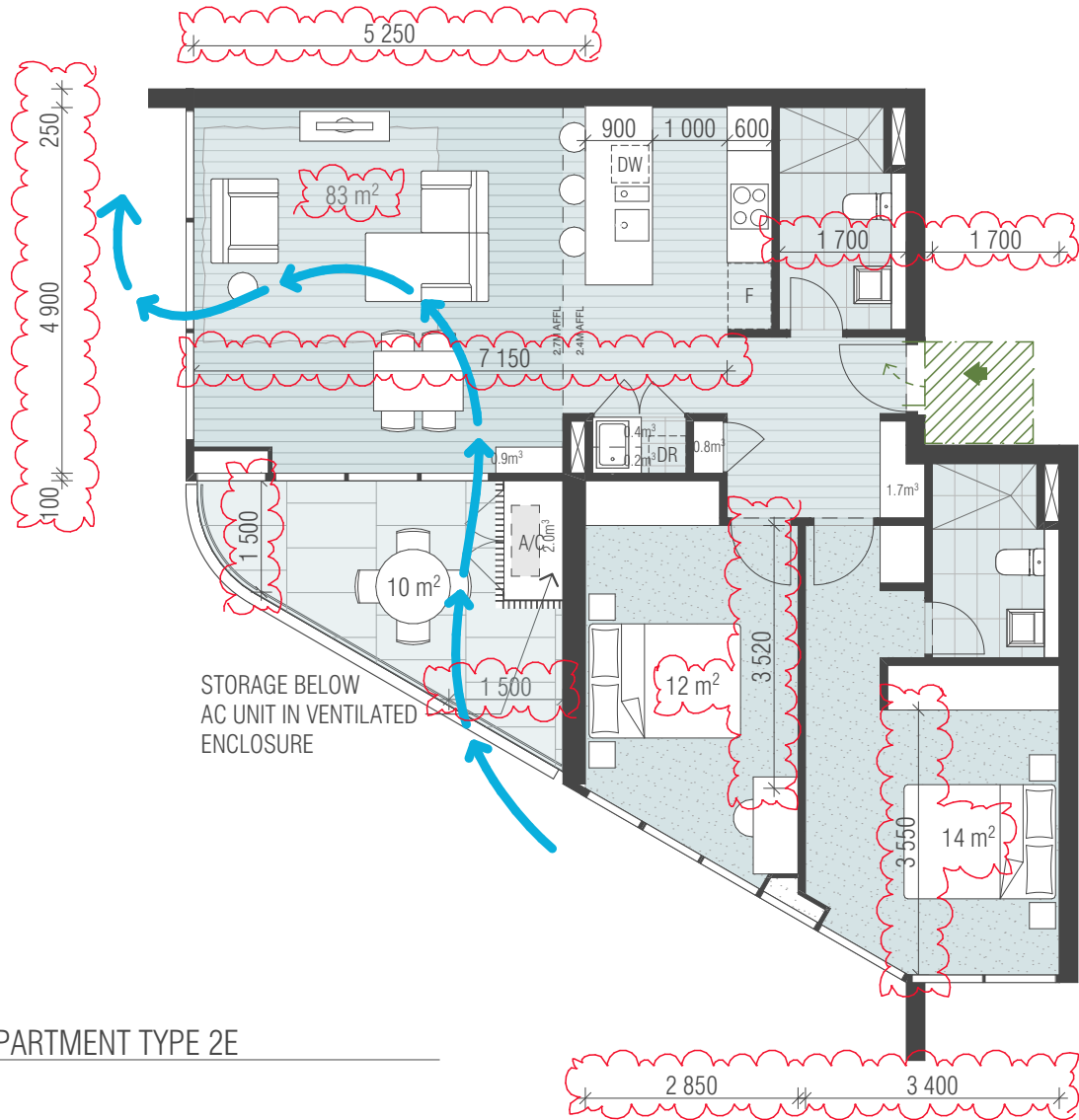
DRAWING TITLE
TOWER B - APARTMENT TYPES 2C & 2D

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
FOR INFORMATION



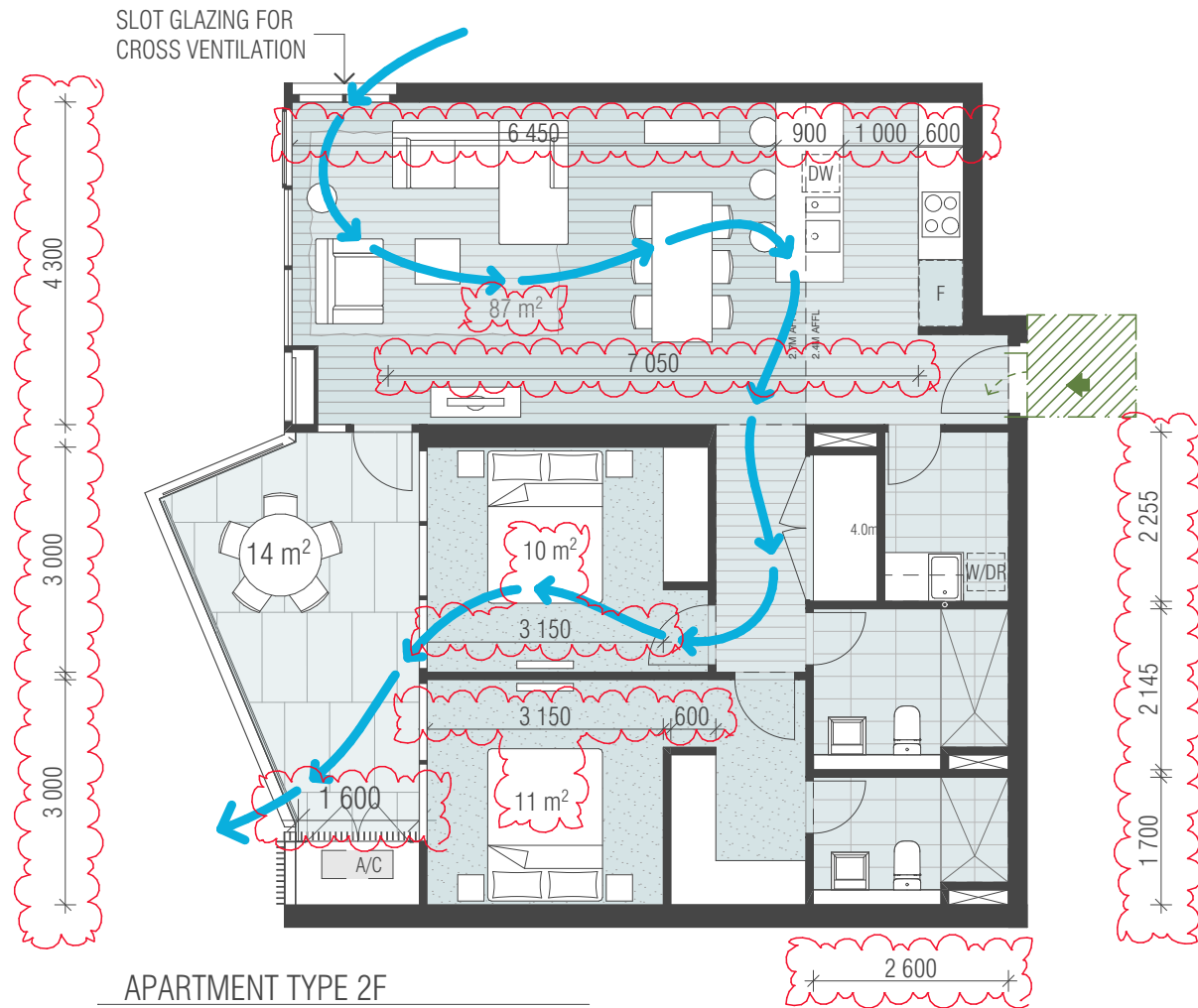
REV.	DRAWING NO.
02	DA131



APARTMENT TYPE 2E

TYPICAL TWO BED APARTMENT WITH BALCONY*

LOCATION: SOUTH WEST CORNER
QUANTITY: 14
LEVELS: 1 -14
*NOTE: LEVEL 1- 4 HAVE TERRACES
NATURALLY VENTILATED

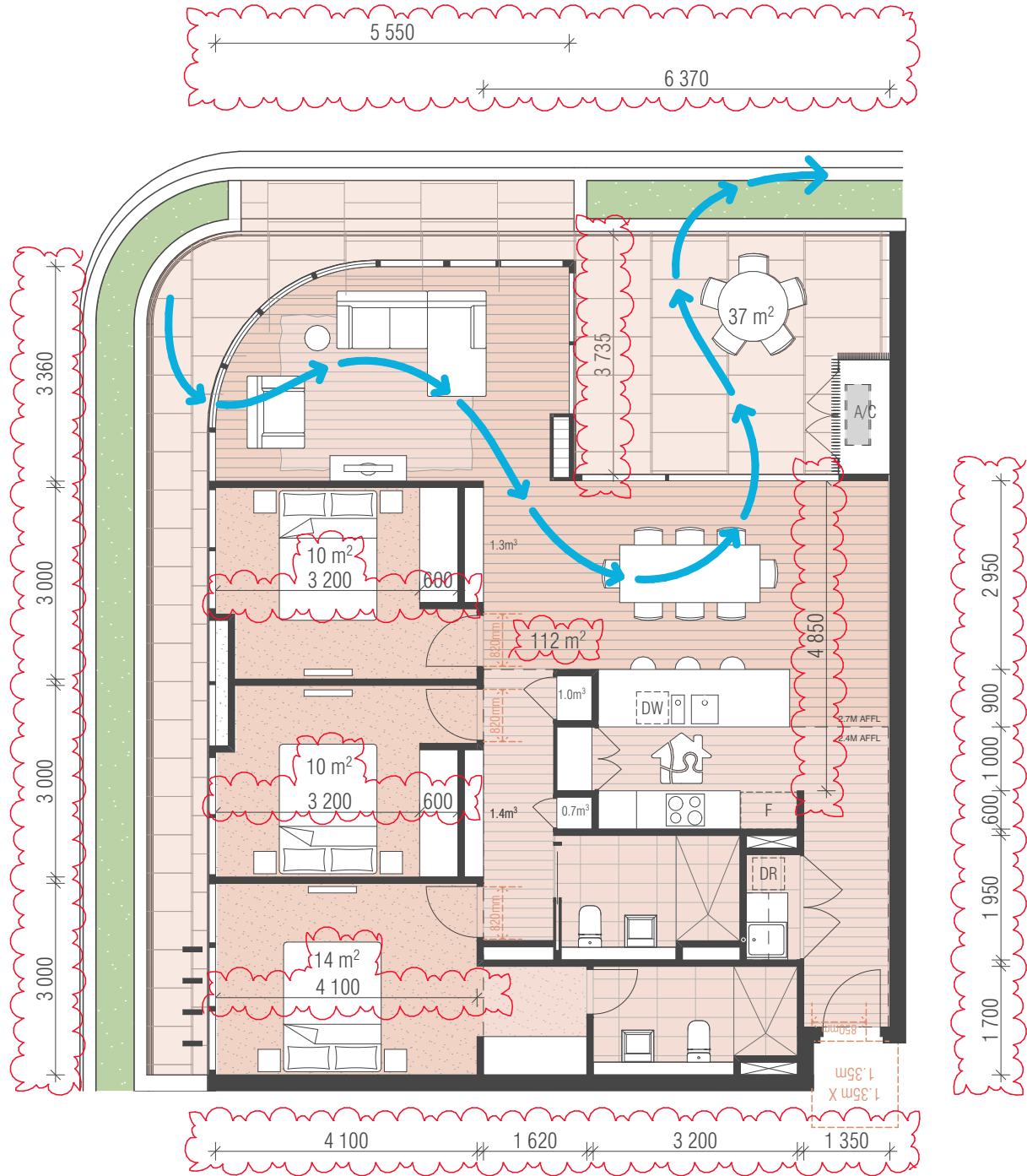


APARTMENT TYPE 2F

TYPICAL TWO BED APARTMENT WITH BALCONY*

LOCATION: WEST FACADE
QUANTITY: 14
LEVELS: 1 -14
*NOTE: LEVEL 1 HAS A TERRACE
NATURALLY VENTILATED

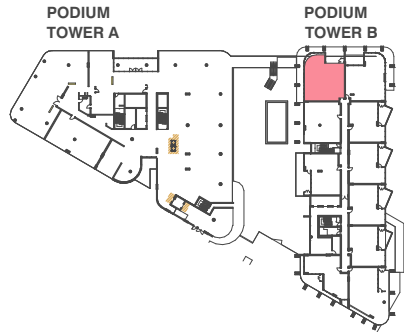




APARTMENT TYPE 3E - SILVER LIVABLE

TYPICAL PODIUM THREE BED APARTMENT
TO LIVING HOUSING GUIDELINE SILVER STANDARD

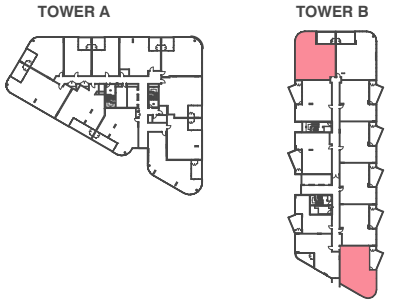
LOCATION: PODIUM NORTH WEST CORNER
QUANTITY: 4
LEVELS: 1-4
NATURALLY VENTILATED



APARTMENT TYPE 3F

TYPICAL THREE BED APARTMENT

LOCATION: SOUTH EAST CORNER
QUANTITY: 14
LEVELS: 1-14
NATURALLY VENTILATED



BIMcloud: kaspdrim01 - BIMcloud/22104 309 King Street Newcastle (GWH)00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	15.02.2023
01	TOWER A SCHEMATIC DESIGN RAC	RAS	18.04.2023
02	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 03	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

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☐ SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

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DRAWN RAS DATE 06.06.2023 CHECKED RM PLOT DATE 30.11.2023 JOB NO. 22104 SCALE 1:100@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

TOWER B - APARTMENT TYPES 3E & 3F

FENDER KATSALIDIS

WWW.FKAUSTRALIA.COM

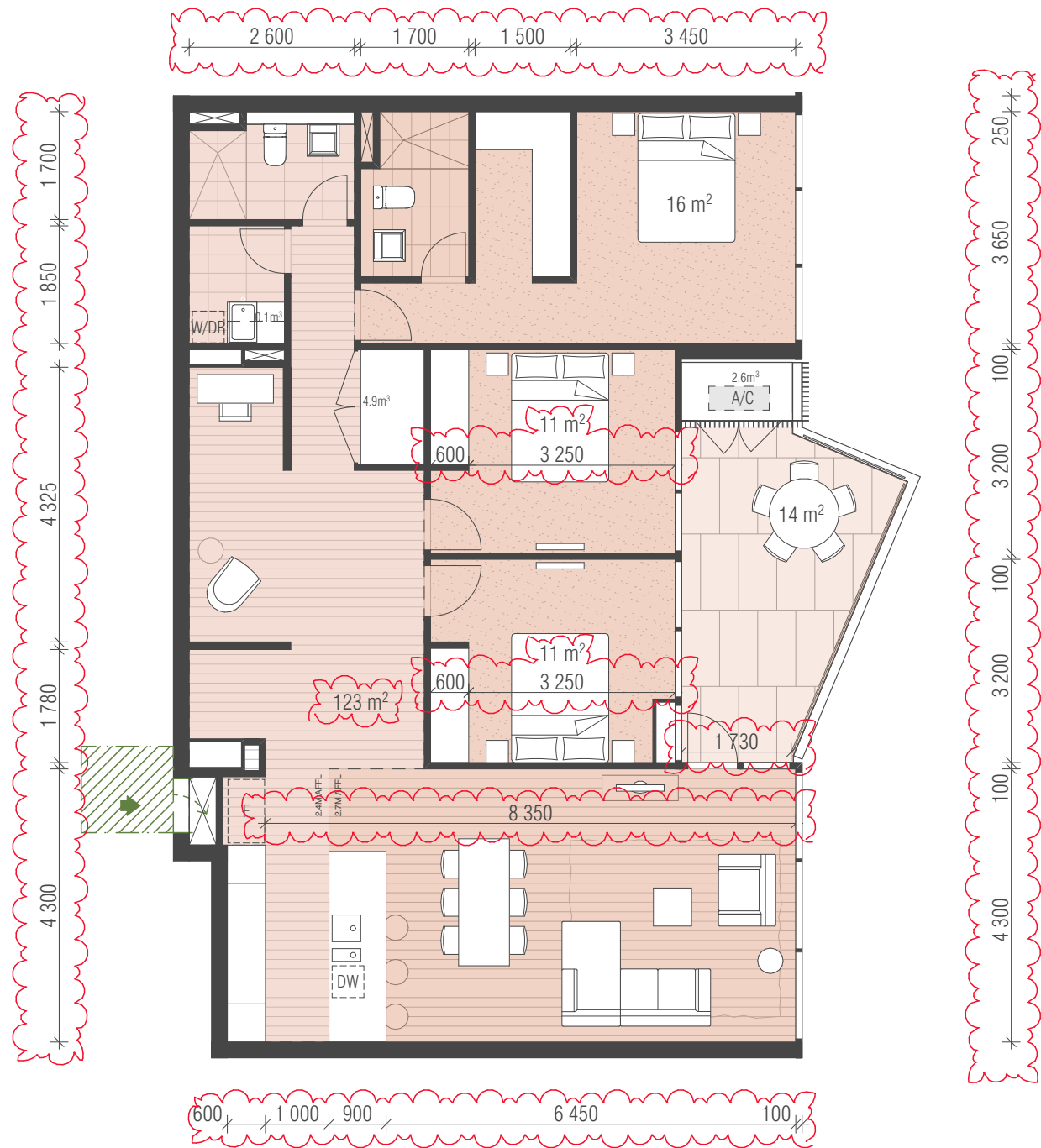
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

4.55 APPLICATION



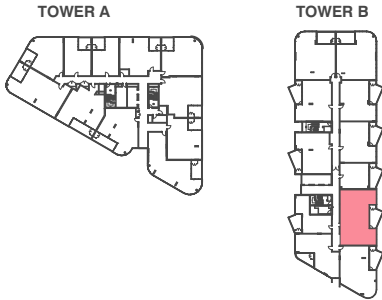
REV. 03 DRAWING NO. DA142

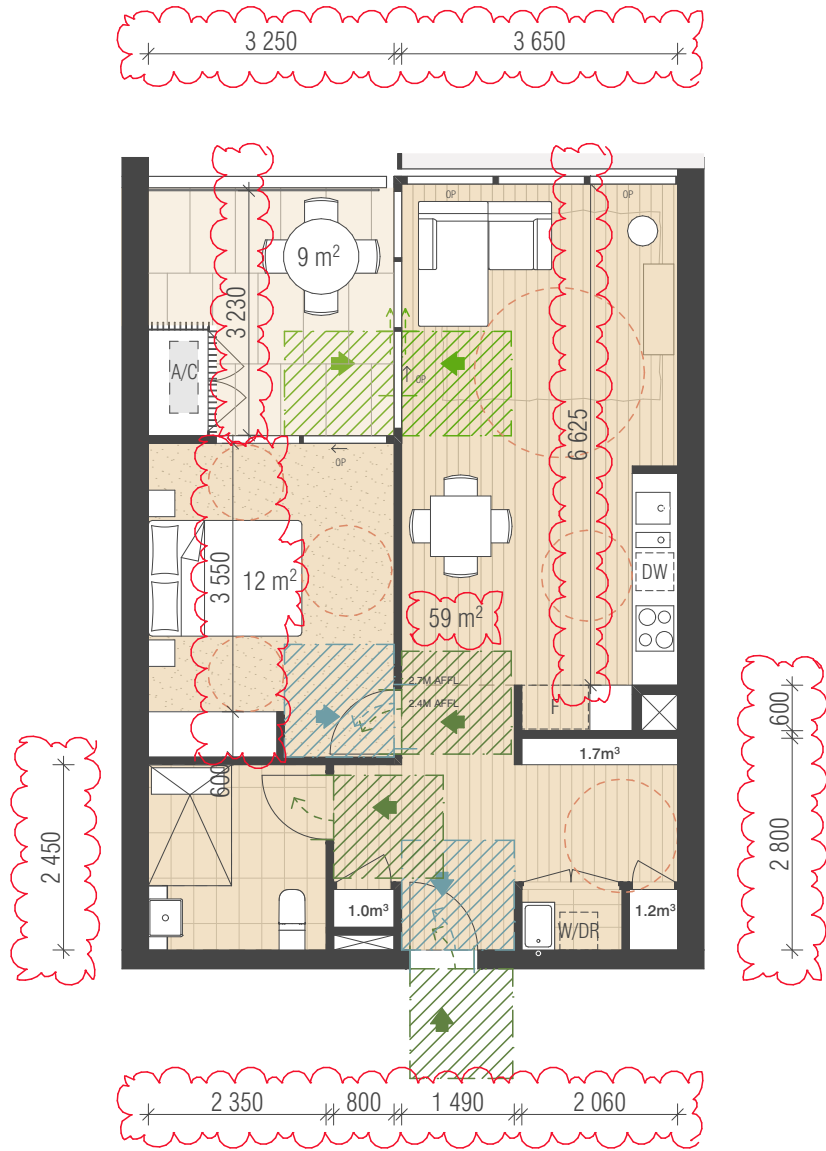


APARTMENT TYPE 3G

THREE BED APARTMENT

LOCATION: EAST FACADE
QUANTITY: 7
LEVELS: 8-14

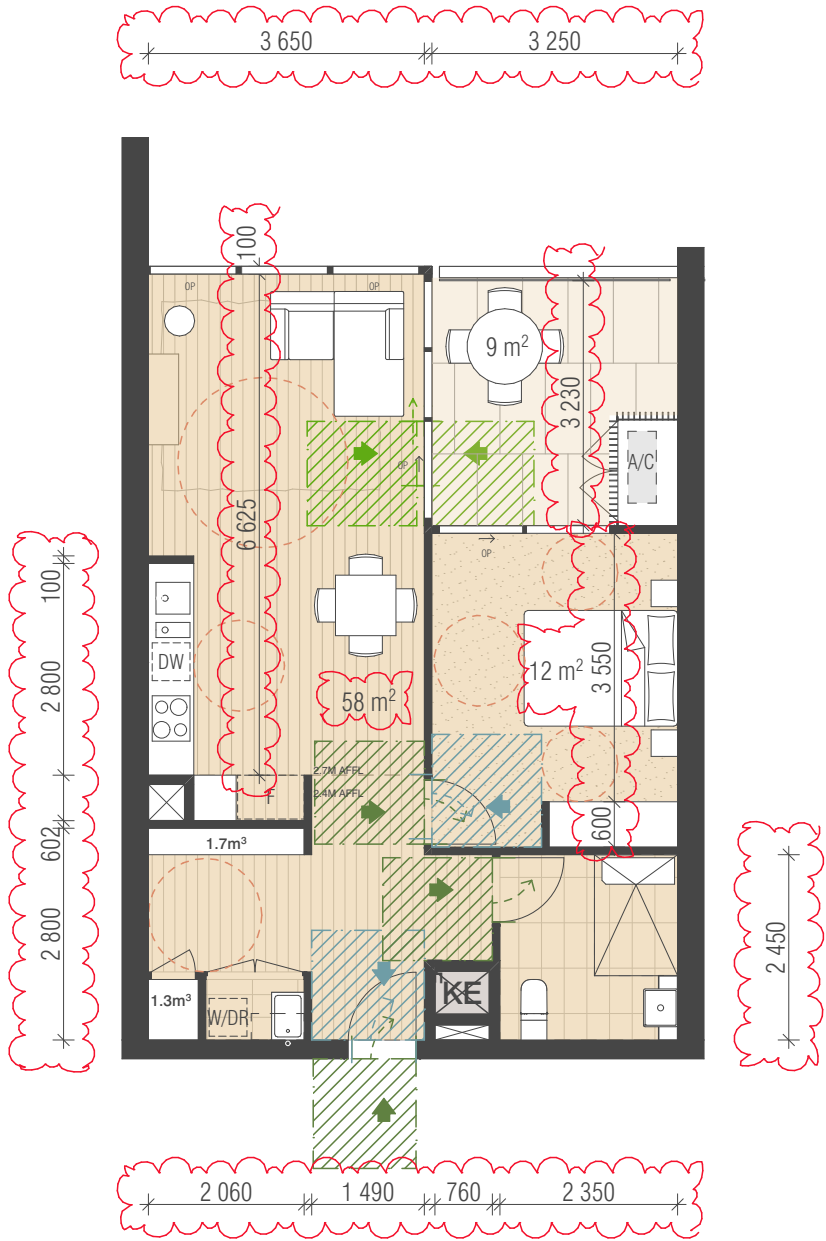




ILU TYPE 1A

TYPICAL ONE BED APARTMENT

LOCATION: NORTH FACADE LEVELS 4 -13
QUANTITY: 10



ILU TYPE 1B

TYPICAL ONE BED APARTMENT

LOCATION: NORTH FACADE LEVELS 4 -13
QUANTITY: 10



BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	06.04.2023
01	TOWER A SCHEMATIC DESIGN RAC	RAS	18.04.2023
02	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 03	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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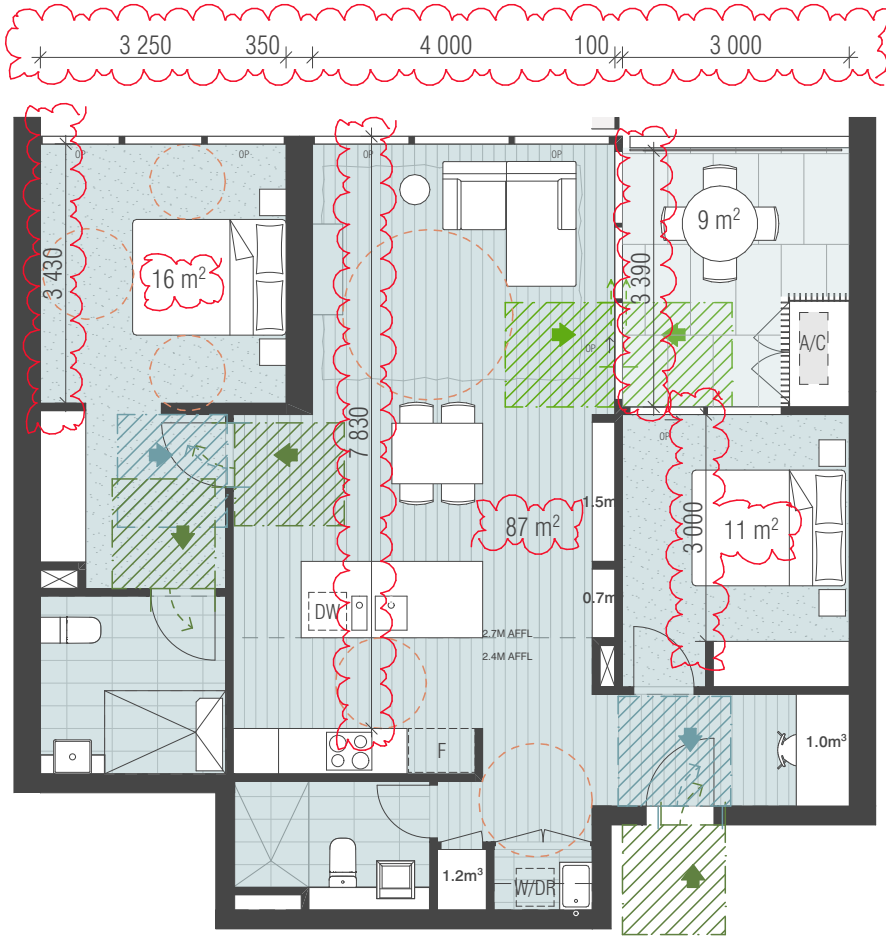
DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	06.06.2023	RM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
TOWER A - ILU TYPES 1A & 1B

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

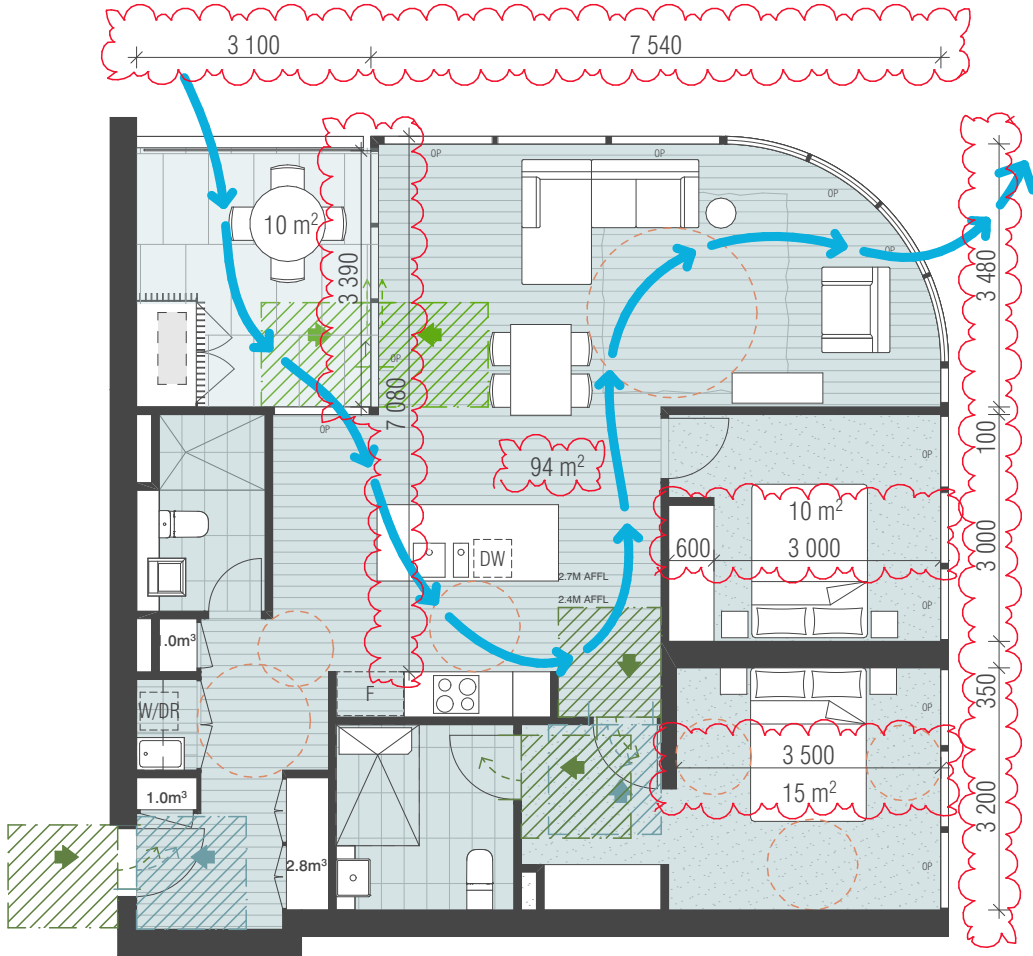
REV.	DRAWING NO.
03	DA150



ILU TYPE 2A

TYPICAL TWO BED APARTMENT

LOCATION: NORTH FACADE LEVELS 4 -13
QUANTITY: 10



ILU TYPE 2B

TYPICAL TWO BED APARTMENT

LOCATION: NORTH EAST CORNER LEVELS 4 -13
QUANTITY: 10
NATURALLY VENTILATED



BIMcloud: fkaasprdbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	06.04.2023
01	TOWER A SCHEMATIC DESIGN RAC	RAS	18.04.2023
02	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
03	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 04	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	04.10.2023	RM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302

DRAWING TITLE
TOWER A - ILU TYPES 2A & 2B

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
04	DA160



ILU TYPE 2C

TYPICAL TWO BED APARTMENT

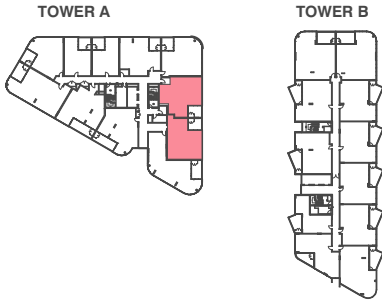
LOCATION: EAST FACADE LEVELS 4 -13
QUANTITY: 10



ILU TYPE 2D

TYPICAL TWO BED APARTMENT

LOCATION: EAST FACADE LEVELS 4 -13
QUANTITY: 10



BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	06.04.2023
01	TOWER A SCHEMATIC DESIGN RAC	RAS	18.04.2023
02	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
03	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 04	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	04.10.2023	RM	30.11.2023	22104	1:100@A3

PROJECT
309 King Street Newcastle NSW 2302

DRAWING TITLE
TOWER A - ILU TYPES 2C & 2D

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
04	DA161

ILU TYPE 2E

TYPICAL TWO BED APARTMENT

LOCATION: SOUTH FACADE LEVELS 4 -13

QUANTITY: 9

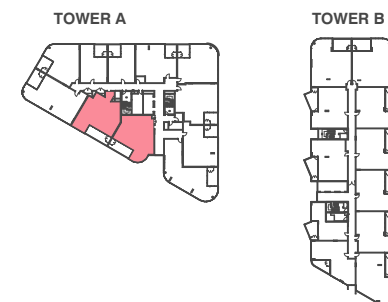
NATURALLY VENTILATED

ILU TYPE 2F

TYPICAL TWO BED APARTMENT

LOCATION: SOUTH FACADE LEVELS 4 -13

QUANTITY: 9



REVISION			
-	ISSUE FOR REVIEW	RAS	06.04.2023
01	TOWER A SCHEMATIC DESIGN RAC	RAS	18.04.2023
02	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
03	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
> 04	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023

REVISION

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	04.10.2023	RM	30.11.2023	22104	1:100@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

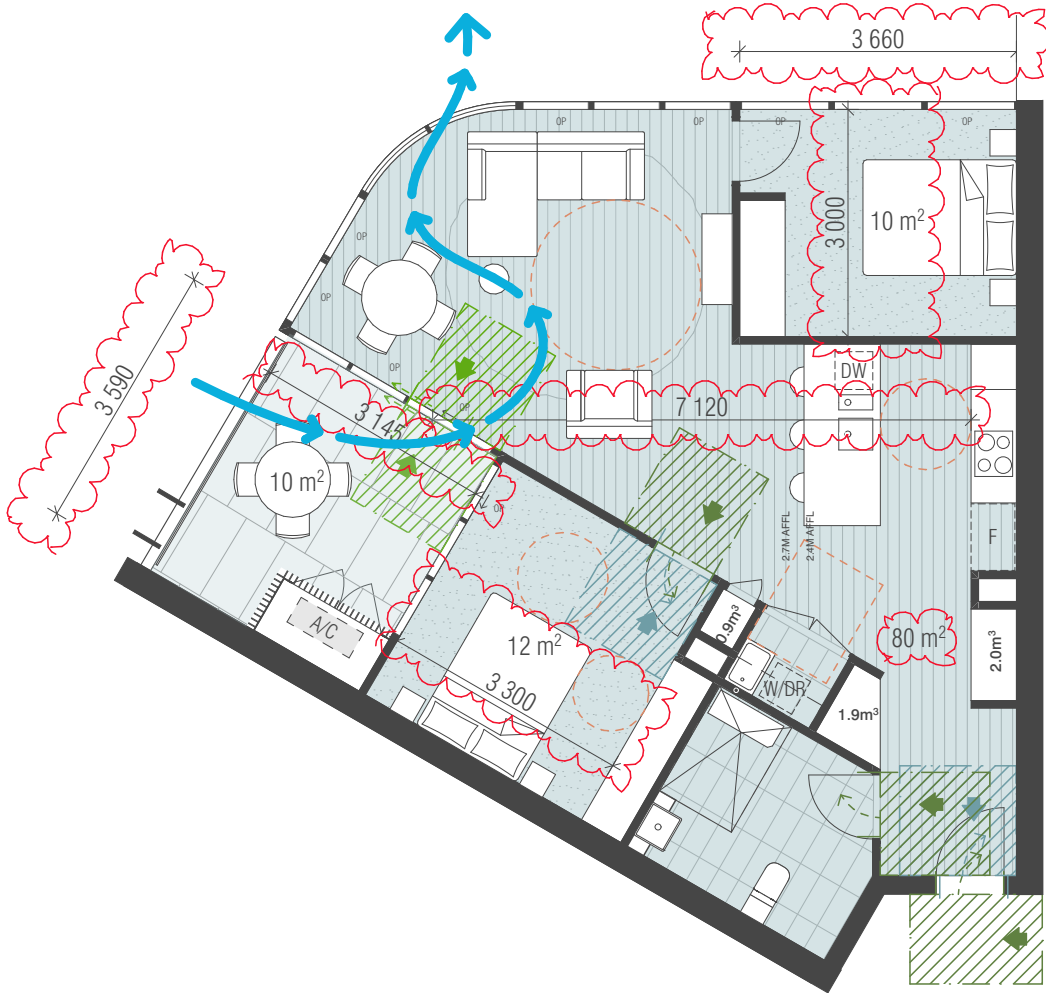
TOWER A - ILU TYPES 2E & 2F

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV. 04

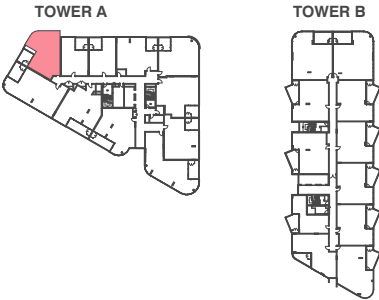
DRAWING NO. DA162



ILU TYPE 2G

TYPICAL TWO BED APARTMENT

LOCATION: NORTH WEST CORNER LEVELS 4 -13
QUANTITY: 10
NATURALLY VENTILATED



BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	ISSUE FOR REVIEW	RAS	06.04.2023
01	TOWER A SCHEMATIC DESIGN RAC	RAS	18.04.2023
02	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 03	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
RAS	06.06.2023	RM	30.11.2023	22104	1:100@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

TOWER A - ILU TYPES 2G & 2H

FENDER KATSALIDIS

WWW.FKAUSTRALIA.COM

L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



ISSUE PURPOSE

4.55 APPLICATION

REV. 03
DRAWING NO. DA163



C1
NATURAL IN-SITU CONCRETE



C2
BRIGHTON LIGHT PRE-CAST CONCRETE PODIUM
- PLANTERS
- UPSTANDS



C3
TEXTURED PRE-CAST CONCRETE
- FEATURE WALLS
L1
CHARCOAL GREY POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES
L2
BRONZE POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES

St1
STONE LOOK LIGHT COLOUR



C4
NAWKAW PRE-CAST PAINTED CONCRETE
PODIUM TOWER B

T1
TIMBER COMPOSITE
FEATURE UPSTANDS

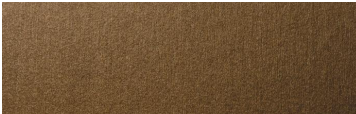


G1
SINGLE AND DOUBLE GLAZING

G2
COLOUR BACKED GLASS PANELS

G3
CLEAR GLASS BALUSTRADE

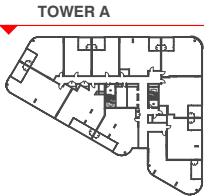
G4
CLEAR GLASS LOUVRES



M1
BRONZE POWDERCOAT ALUMINIUM



M2
CHARCOAL GREY POWDERCOAT ALUMINIUM
MULLIONS AND FRAMES



BIMcloud: kaspdrim01 - BIMcloud/22104 309 King Street Newcastle (GWH)00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
01	PRE DEVELOPMENT APPLICATION	BB	19.04.2018
02	DEVELOPMENT APPLICATION	IM	29.08.2019
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019
04	DEVELOPMENT APPLICATION - AMENDED	NZ	22.05.2020
05	FOR HUNTER AND CENTRAL COAST REGIONAL PLANNING PANEL SUBMISSION	NZ	26.02.2021
06	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
07	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	06.10.2023
		TF	08.11.2023

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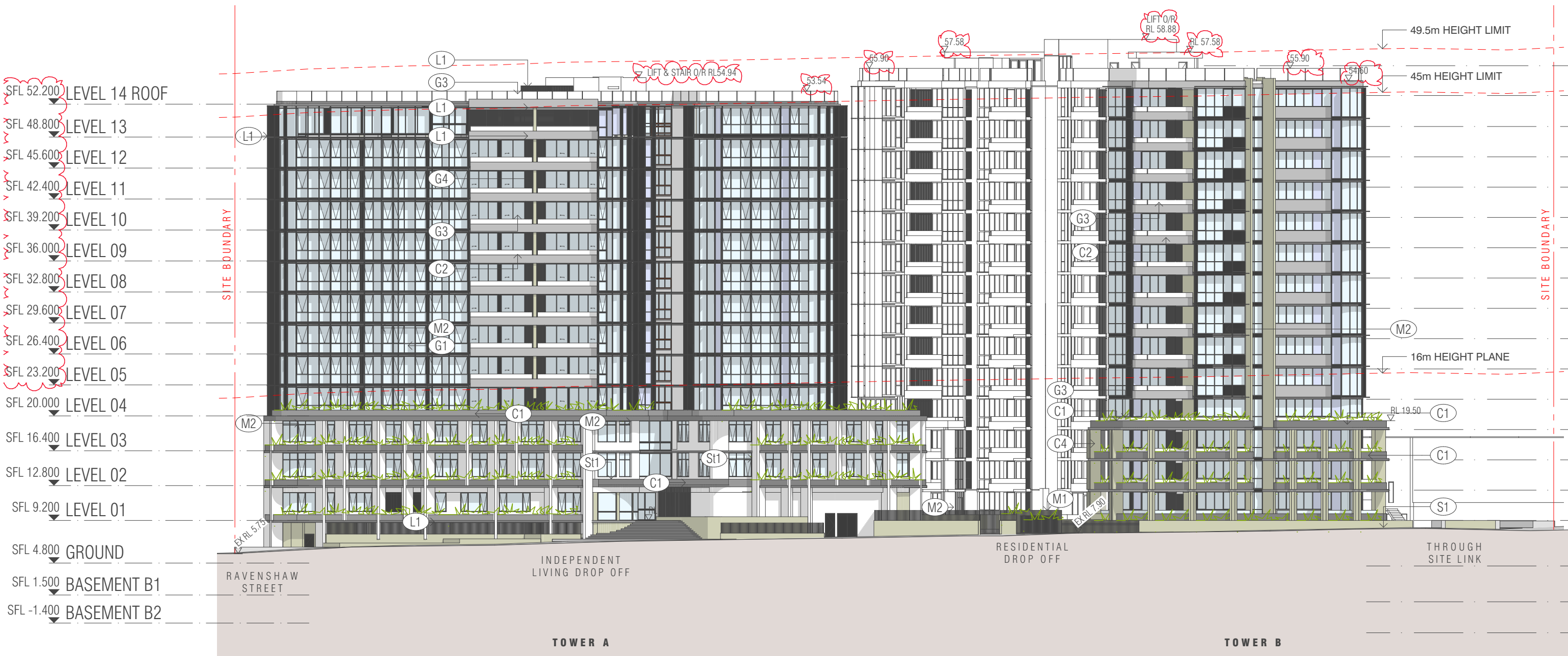
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	08.11.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
NORTH ELEVATION

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
08	DA200



C1
NATURAL IN-SITU CONCRETE

C2
BRIGHTON LIGHT PRE-CAST CONCRETE PODIUM
- PLANTERS
- UPSTANDS

C3
TEXTURED PRE-CAST CONCRETE
- FEATURE WALLS
L1
CHARCOAL GREY POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES
L2
BRONZE POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES
St1
STONE LOOK LIGHT COLOUR

C4
NAWKAW PRE-CAST PAINTED CONCRETE
PODIUM TOWER B
T1
TIMBER COMPOSITE
FEATURE UPSTANDS

G1
SINGLE AND DOUBLE GLAZING
G2
COLOUR BACKED GLASS PANELS
G3
CLEAR GLASS BALUSTRADE
G4
CLEAR GLASS LOUVRES

M1
BRONZE POWDERCOAT ALUMINIUM
M2
CHARCOAL GREY POWDERCOAT ALUMINIUM
MULLIONS AND FRAMES

1

SOUTH ELEVATION RAC

SCALE 1:400@A3

REVISION				REVISION				QUALITY ASSURANCE				NOTES				PROJECT				FENDER KATSALIDIS																											
01	PRE DEVELOPMENT APPLICATION	BB	11.04.2018	02	DEVELOPMENT APPLICATION	IM	29.08.2019	03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019	04	DEVELOPMENT APPLICATION_AMENDED	NZ	22.05.2020	05	FOR HUNTER AND CENTRAL COAST REGIONAL PLANNING PANEL SUBMISSION	NZ	26.02.2021	06	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023	07	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	06.10.2023	THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM				THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS (AUST) PTY LTD CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.				309 King Street Newcastle NSW 2302				WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032							
								<div><input type="checkbox"/> SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.</div> <div><input type="checkbox"/> DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.</div> <div><input type="checkbox"/> TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.</div> <div><input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.</div>																																							
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								DRAWN				DATE				CHECKED				PLOT DATE				JOB NO.				SCALE				DRAWING TITLE				ISSUE PURPOSE				REV.				DRAWING NO.			
								IM				06.10.2023				RM				30.11.2023				22104				1:400@A3				SOUTH ELEVATION				4.55 APPLICATION				07				DA201			



C1
NATURAL IN-SITU CONCRETE



C2
BRIGHTON LIGHT PRE-CAST CONCRETE PODIUM
- PLANTERS
- UPSTANDS



C3
TEXTURED PRE-CAST CONCRETE
- FEATURE WALLS
L1
CHARCOAL GREY POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES
L2
BRONZE POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES

St1
STONE LOOK LIGHT COLOUR



C4
NAWKAW PRE-CAST PAINTED CONCRETE
PODIUM TOWER B



T1
TIMBER COMPOSITE
FEATURE UPSTANDS

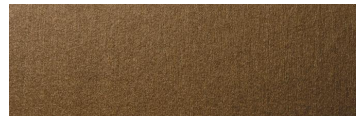


G1
SINGLE AND DOUBLE GLAZING

G2
COLOUR BACKED GLASS PANELS

G3
CLEAR GLASS BALUSTRADE

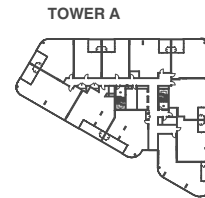
G4
CLEAR GLASS LOUVRES



M1
BRONZE POWDERCOAT ALUMINIUM



M2
CHARCOAL GREY POWDERCOAT ALUMINIUM
MULLIONS AND FRAMES



WEST 2 ELEVATION

SCALE 1:400@A3

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION		REVISION	
01	PRE DEVELOPMENT APPLICATION	IM	19.04.2018	09	AMENDED SECTION 4.55 APPLICATION SUBMISSION
02	DEVELOPMENT APPLICATION FOR COUNCIL	IM	19.08.2019	> 10	AMENDED SECTION 4.55 APPLICATION SUBMISSION
03	DEVELOPMENT APPLICATION - AMENDED	NZ	22.05.2020		
04	FOR HUNTER AND CENTRAL COAST REGIONAL PLANNING PANEL SUBMISSION	NZ	26.02.2021		
05	TOWER B - SCHEMATIC DESIGN	PM	03.03.2023		
06	TOWER B - SCHEMATIC DESIGN	RAS	20.04.2023		
07	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023		
		TF	06.06.2023		

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM	
<input type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street Newcastle NSW 2302

DRAWING TITLE
WEST 2 ELEVATION

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION



REV.	DRAWING NO.
10	DA204



C1
NATURAL IN-SITU CONCRETE



C2
BRIGHTON LIGHT PRE-CAST CONCRETE PODIUM
- PLANTERS
- UPSTANDS



C3
TEXTURED PRE-CAST CONCRETE
- FEATURE WALLS
L1
CHARCOAL GREY POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES
L2
BRONZE POWDERCOAT ALUMINIUM
HORIZONTAL AND VERTICAL LOUVRES

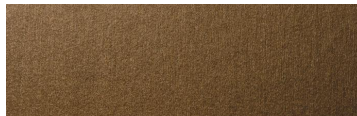
St1
STONE LOOK LIGHT COLOUR



C4
NAWKAW PRE-CAST PAINTED CONCRETE
PODIUM TOWER B
T1
TIMBER COMPOSITE
FEATURE UPSTANDS



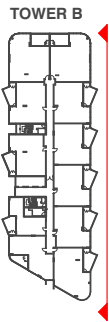
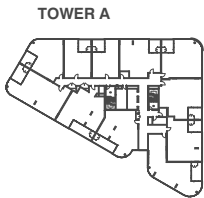
G1
SINGLE AND DOUBLE GLAZING
G2
COLOUR BACKED GLASS PANELS
G3
CLEAR GLASS BALUSTRADE
G4
CLEAR GLASS LOUVRES



M1
BRONZE POWDERCOAT ALUMINIUM



M2
CHARCOAL GREY POWDERCOAT ALUMINIUM
MULLIONS AND FRAMES



1
-
EAST 2 ELEVATION
SCALE 1:400@A3

BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION	IM	19.04.2018	REVISION	09	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	06.10.2023
01	PRE DEVELOPMENT APPLICATION	IM	19.04.2018				
02	DEVELOPMENT APPLICATION FOR COUNCIL	IM	19.08.2019				
03	DEVELOPMENT APPLICATION, AMENDED	NZ	22.05.2020				
04	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023				
05	TOWER B - SCHEMATIC DESIGN	RAS	18.04.2023				
06	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023				
07	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023				
		RL	04.10.2023				

QUALITY ASSURANCE	(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
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<input type="checkbox"/> SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/> DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/> TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.	
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
EAST 2 ELEVATION

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

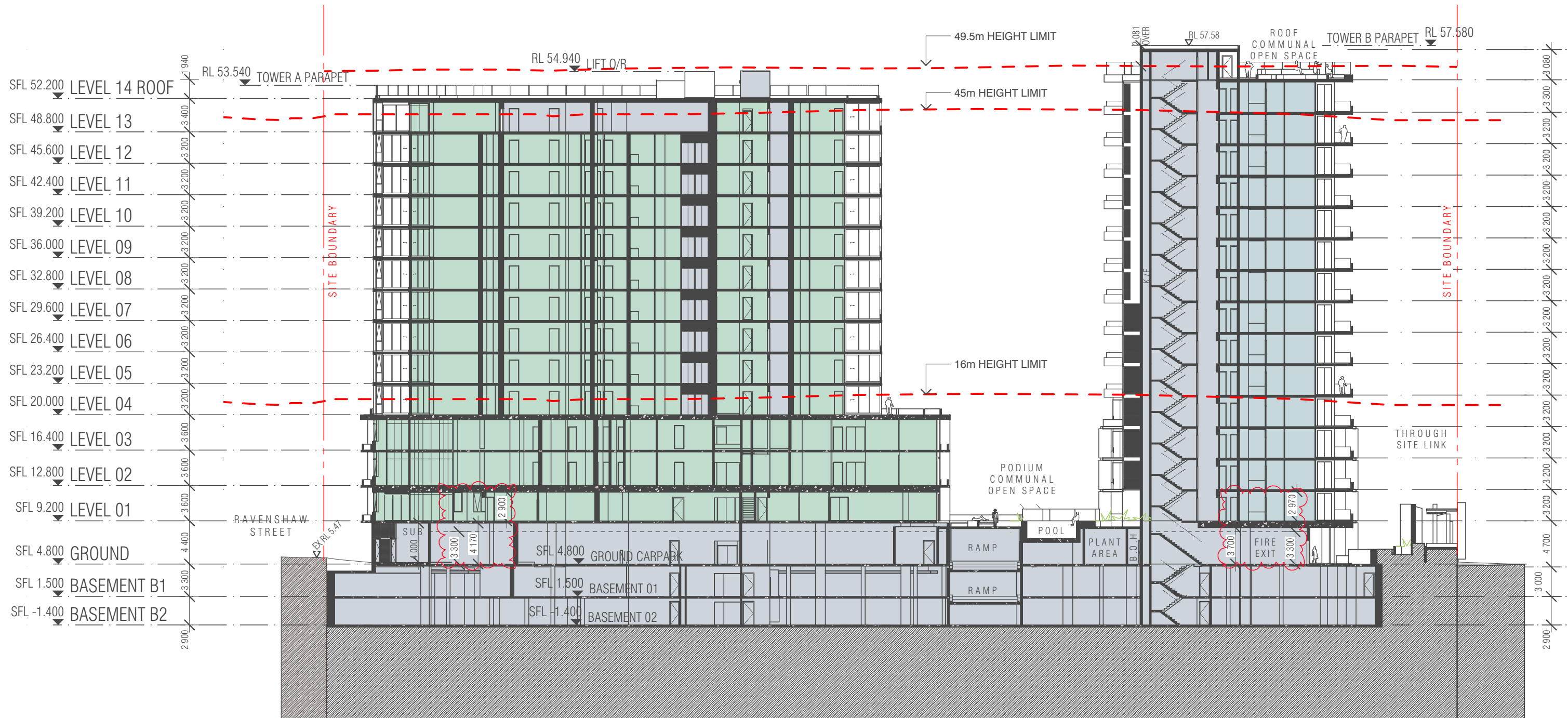
ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
09	DA205



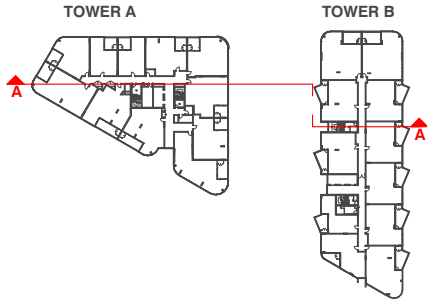
TOWER A

TOWER B



1 SECTION AA RAC
SCALE 1:400@A1

- TOWER RESIDENTIAL APARTMENTS
- COMMERCIAL / RETAIL
- CARPARKING / SERVICES
- RESIDENTIAL AGED CARE RAC
- MEDICAL
- INDEPENDENT LIVING



BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		
01	PRE DEVELOPMENT APPLICATION	BB 19.04.2018
02	DEVELOPMENT APPLICATION	IM 29.08.2019
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB 19.08.2019
04	FOR HUNTER AND CENTRAL COAST REGIONAL PLANNING PANEL SUBMISSION	NZ 26.02.2021
05	FOR COUNCIL DISCUSSION	PM 28.11.2022
06	CONCEPT DESIGN ISSUE	RAS 03.02.2023
07	TOWER B - SCHEMATIC DESIGN	AR 03.03.2023
		RAS 06.04.2023

REVISION		
09	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL 04.10.2023
> 10	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL 06.10.2023

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM.
☐ SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.10.2023	RM	30.11.2023	22104	1:400@A3



PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
SECTION AA

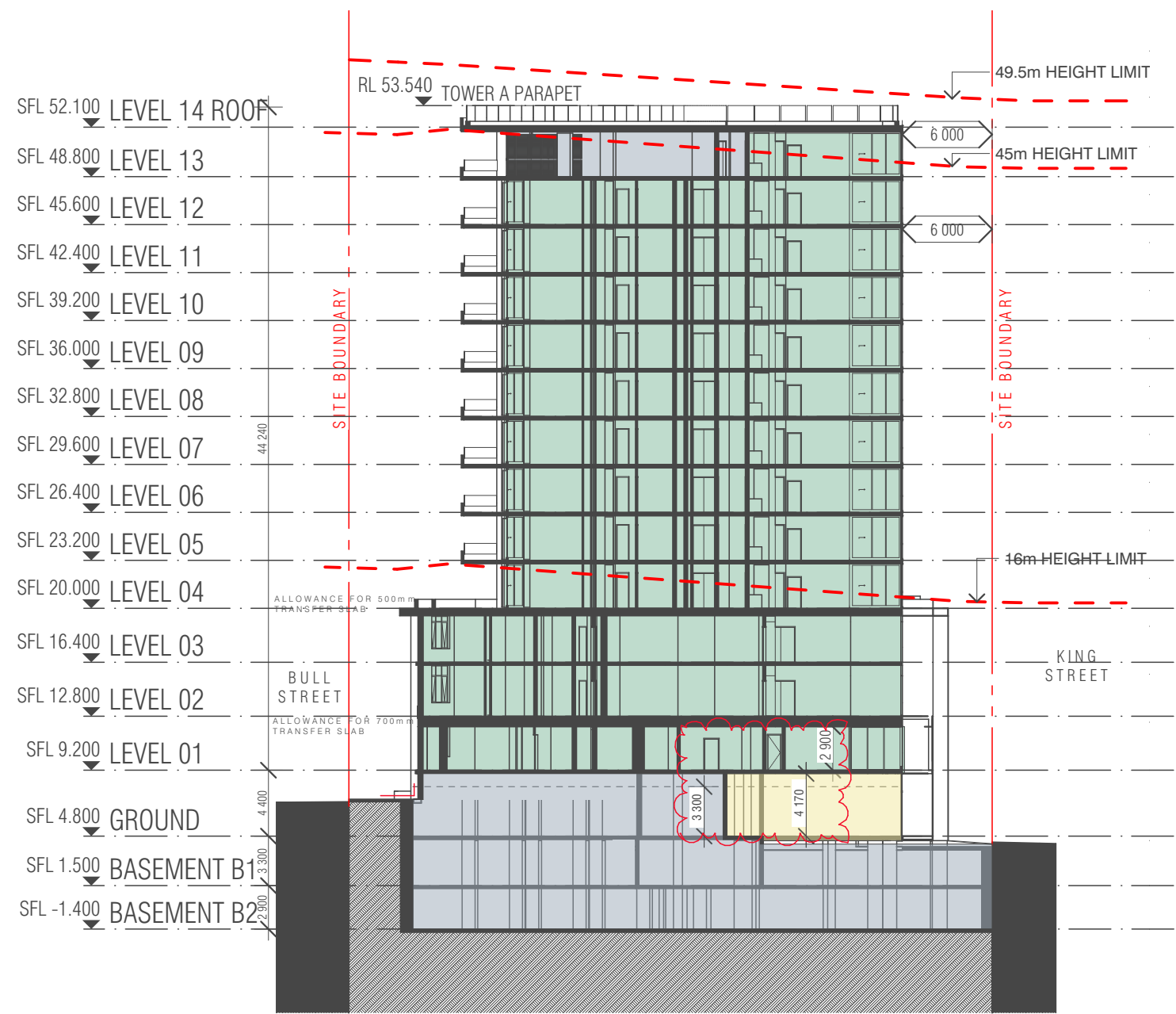
FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION



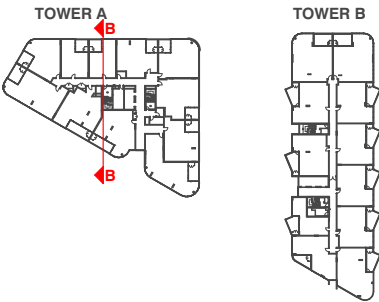
REV. 10
DRAWING NO. DA250

TOWER A



1 SECTION BB RAC
SCALE 1:400@A1

- TOWER RESIDENTIAL APARTMENTS
- COMMERCIAL / RETAIL
- CARPING / SERVICES
- RESIDENTIAL AGED CARE RAC
- MEDICAL
- INDEPENDENT LIVING



BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
01	DEVELOPMENT APPLICATION	IM	29.08.2018
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019
03	FOR COUNCIL DISCUSSION	PM	28.11.2022
04	CONCEPT DESIGN ISSUE	RAS	03.02.2023
05	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023
06	ISSUE FOR REVIEW	RAS	06.04.2023
07	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
		RL	06.10.2023

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
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☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
☐ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
SECTION BB

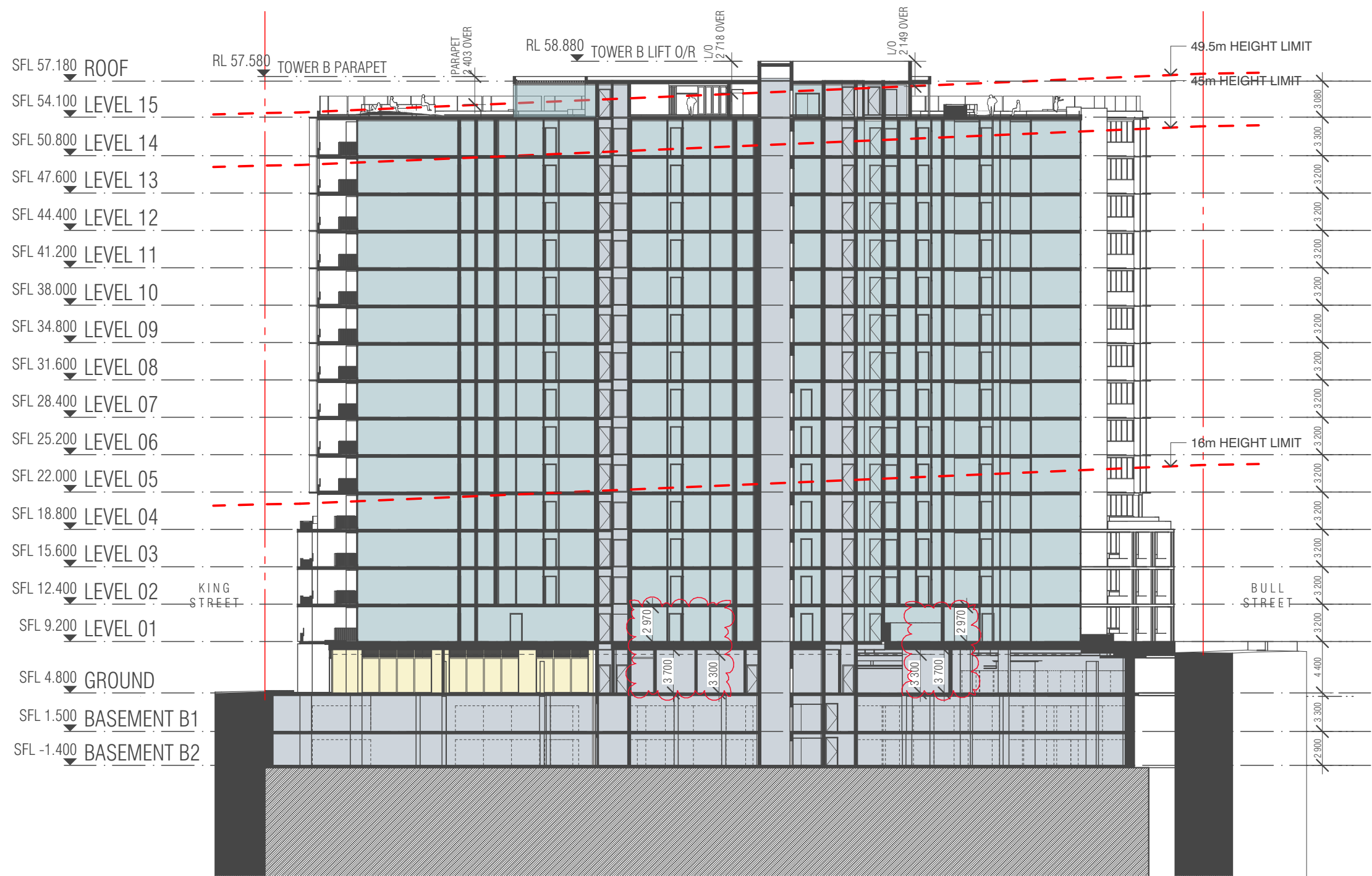
FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION



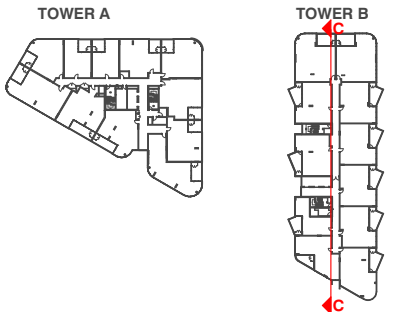
REV. 08
DRAWING NO. DA251

TOWER B



1 SECTION CC
SCALE 1:400@A1

- TOWER RESIDENTIAL APARTMENTS
- COMMERCIAL / RETAIL
- CARPING / SERVICES
- PRIVATE HOSPITAL
- MEDICAL
- INDEPENDENT LIVING



BIMcloud: kaspdrim01 - BIMcloud/22104 309 King Street Newcastle (GWH)00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION	IM	29.08.2018	09	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
01	DEVELOPMENT APPLICATION		BB	19.08.2019		
02	DEVELOPMENT APPLICATION FOR COUNCIL		PM	28.11.2022		
03	FOR COUNCIL DISCUSSION		RAS	03.02.2023		
04	CONCEPT DESIGN ISSUE		AR	03.03.2023		
05	TOWER B - SCHEMATIC DESIGN		PM	18.04.2023		
06	TOWER A SCHEMATIC DESIGN RAC		TF	03.03.2023		
07	TOWER A AND B SCHEMATIC DESIGN		TF	06.06.2023		

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.10.2023	RM	30.11.2023	22104	1:400@A3

PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
SECTION CC

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION



REV. 10
DRAWING NO. DA252



BIMcloud: kaspgrdim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept																																			
REVISION				REVISION				QUALITY ASSURANCE				NOTES				PROJECT				FENDER KATSALIDIS				<div>FK</div>											
01	DEVELOPMENT APPLICATION			BB	19.04.2018			01	DEVELOPMENT APPLICATION			MP	29.08.2018			THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM				THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS (AUST) PTY LTD. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.						309 King Street Newcastle NSW 2302				WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032					
02	DEVELOPMENT APPLICATION FOR COUNCIL			BB	19.08.2019			02	FOR COUNCIL DISCUSSION			PM	28.11.2022			<input type="checkbox"/> SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.				<div>DRAWN</div> <div>AB</div> <div>DATE</div> <div>06.06.2023</div> <div>CHECKED</div> <div>RM</div> <div>PLOT DATE</div> <div>30.11.2023</div> <div>JOB NO.</div> <div>22104</div> <div>SCALE</div> <div>N.T.S.@A3</div>				DRAWING TITLE 3D PERSPECTIVE VIEW 1 - EXISTING				ISSUE PURPOSE 4.55 APPLICATION				REV. 06		DRAWING NO. DA401	
03	TOWER B - SCHEMATIC DESIGN			AR	03.03.2023			03	TOWER A AND B SCHEMATIC DESIGN			TF	03.03.2023			<input type="checkbox"/> DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.																			
05	SECTION 4.55 APPLICATION SUBMISSION			TF	06.06.2023			05								<input type="checkbox"/> TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.																			
								06								<input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.																			
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Document Set ID: 8136664																																			
Version: 1, Version Date: 22/01/2024																																			



BIMcloud: kaspgrdim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION			REVISION		
01	DEVELOPMENT APPLICATION	BB	19.04.2018		
02	DEVELOPMENT APPLICATION	MP	29.08.2018		
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019		
04	FOR COUNCIL DISCUSSION	PM	28.11.2022		
05	FOR COUNCIL DISCUSSION	PM	29.11.2022		
06	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023		
> 07	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023		

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AB	06.06.2023	RM	30.11.2023	22104	N.T.S.@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

3D PERSPECTIVE VIEW 1 - PROPOSED

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

4.55 APPLICATION



REV. 07

DRAWING NO.

DA402



BIMcloud: kaspgrdim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODEL/S/D TP-DA/CENTRAL MODELS/22104 General Concept

REVISION			REVISION		
01	DEVELOPMENT APPLICATION	MP	29.08.2018		
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019		
03	FOR COUNCIL DISCUSSION	PM	28.11.2022		
04	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023		
05	4.55 APPLICATION SUBMISSION	TF	17.05.2023		
06	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023		
> 07	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023		

QUALITY ASSURANCE	
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THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM	
<input type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AB	06.06.2023	RM	30.11.2023	22104	N.T.S.@A3

PROJECT	
309 King Street Newcastle NSW 2302	
DRAWING TITLE	
3D PERSPECTIVE VIEW 2 - EXISTING	

FENDER KATSALIDIS	
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032	
ISSUE PURPOSE	
4.55 APPLICATION	
REV.	DRAWING NO.
07	DA403








BIMcloud: fkaasprdim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODEL/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION				REVISION			
01	DEVELOPMENT APPLICATION	MP	29.08.2018				
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019				
03	FOR COUNCIL DISCUSSION	PM	28.11.2022				
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05	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023				
06	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023				

QUALITY ASSURANCE		(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)	
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<input type="checkbox"/>	SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.		
<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.		
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.06.2023	IM	30.11.2023	22104	N.T.S.@A3

PROJECT	
309 King Street Newcastle NSW 2302	
DRAWING TITLE	
3D PERSPECTIVE VIEW 3 - EXISTING	

FENDER KATSALIDIS		
WWW.FKAUSTRALIA.COM		
L21, 259 GEORGE STREET, SYDNEY		
NEW SOUTH WALES 2000 AUSTRALIA		
TELEPHONE: +61 2 8216 3500		
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032		
<hr/>		
ISSUE PURPOSE	REV.	DRAWING NO.
4.55 APPLICATION	06	DA405



BIMcloud: fkaasprdbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODEL/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION			REVISION		
01	DEVELOPMENT APPLICATION	BB	19.04.2018		
02	DEVELOPMENT APPLICATION	MP	29.08.2018		
03	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019		
04	FOR COUNCIL DISCUSSION	PM	28.11.2022		
05	FOR COUNCIL DISCUSSION	PM	29.11.2022		
06	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023		
07	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023		
		TF	06.06.2023		

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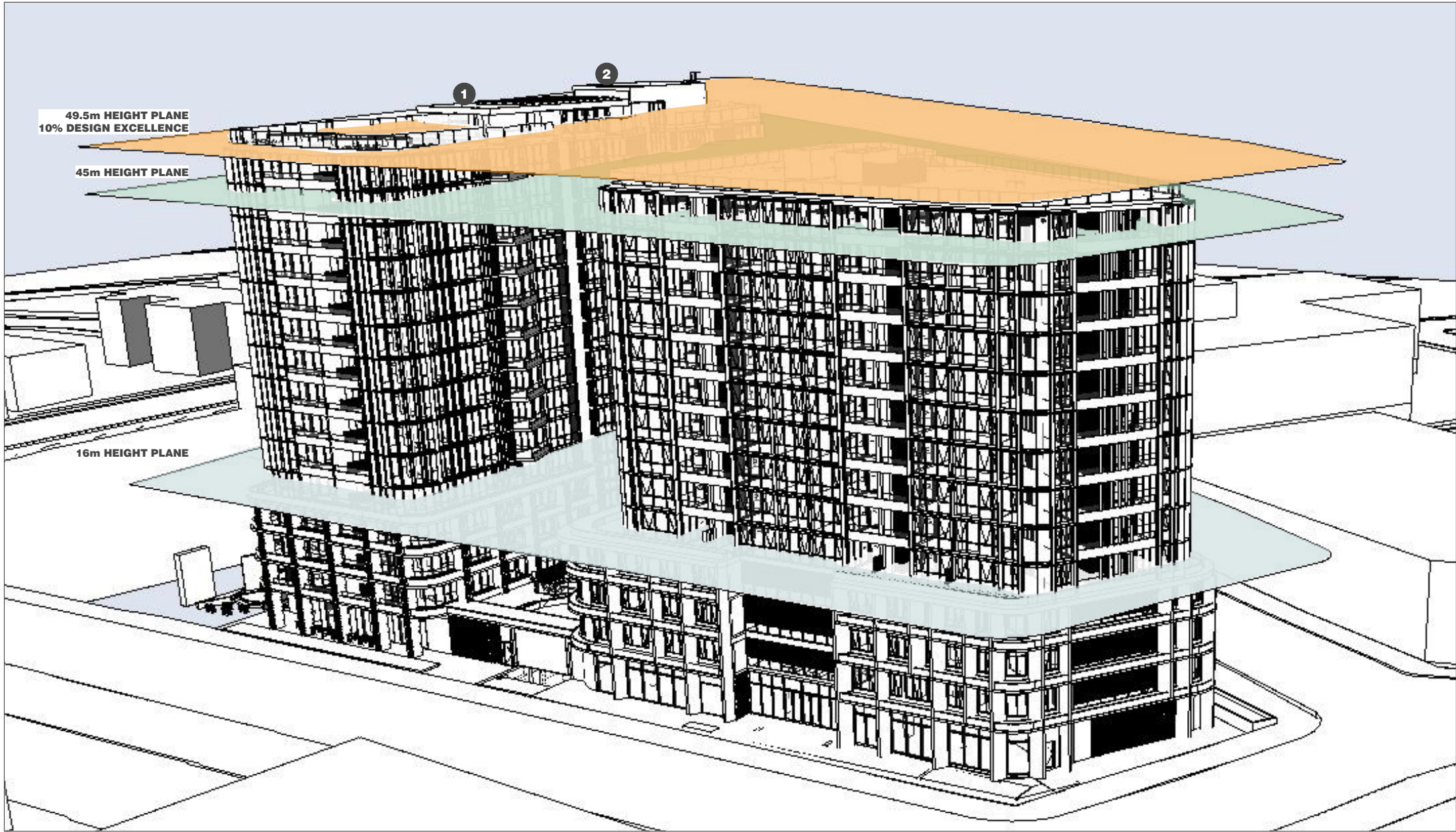
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
AB	06.06.2023	IM	30.11.2023	22104	N.T.S.@A3

PROJECT	
309 King Street Newcastle NSW 2302	
DRAWING TITLE	
3D PERSPECTIVE VIEW 3 - PROPOSED	

FENDER KATSAIDIS	
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NEW SOUTH WALES 2000 AUSTRALIA	
TELEPHONE: +61 2 8216 3500	
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032	
ISSUE PURPOSE	
4.55 APPLICATION	

REV.		DRAWING NO.	
08		DA406	



LEGEND

1. TOWER B - PV PANELS & AWNING - 1525mm OVER 49.5m
2. TOWER B - LIFT O/R - 2255mm OVER 49.5m

BIMcloud: kaspdrbm01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION				REVISION			
01	DEVELOPMENT APPLICATION	IM	29.08.2018	09	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019	10	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
03	FOR COUNCIL DISCUSSION	PM	28.11.2022	> 11	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
04	FOR COUNCIL DISCUSSION	PM	29.11.2022				
05	CONCEPT DESIGN ISSUE	RAS	03.02.2023				
06	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023				
07	ISSUE FOR REVIEW	RAS	06.04.2023				
		PM	17.05.2023				

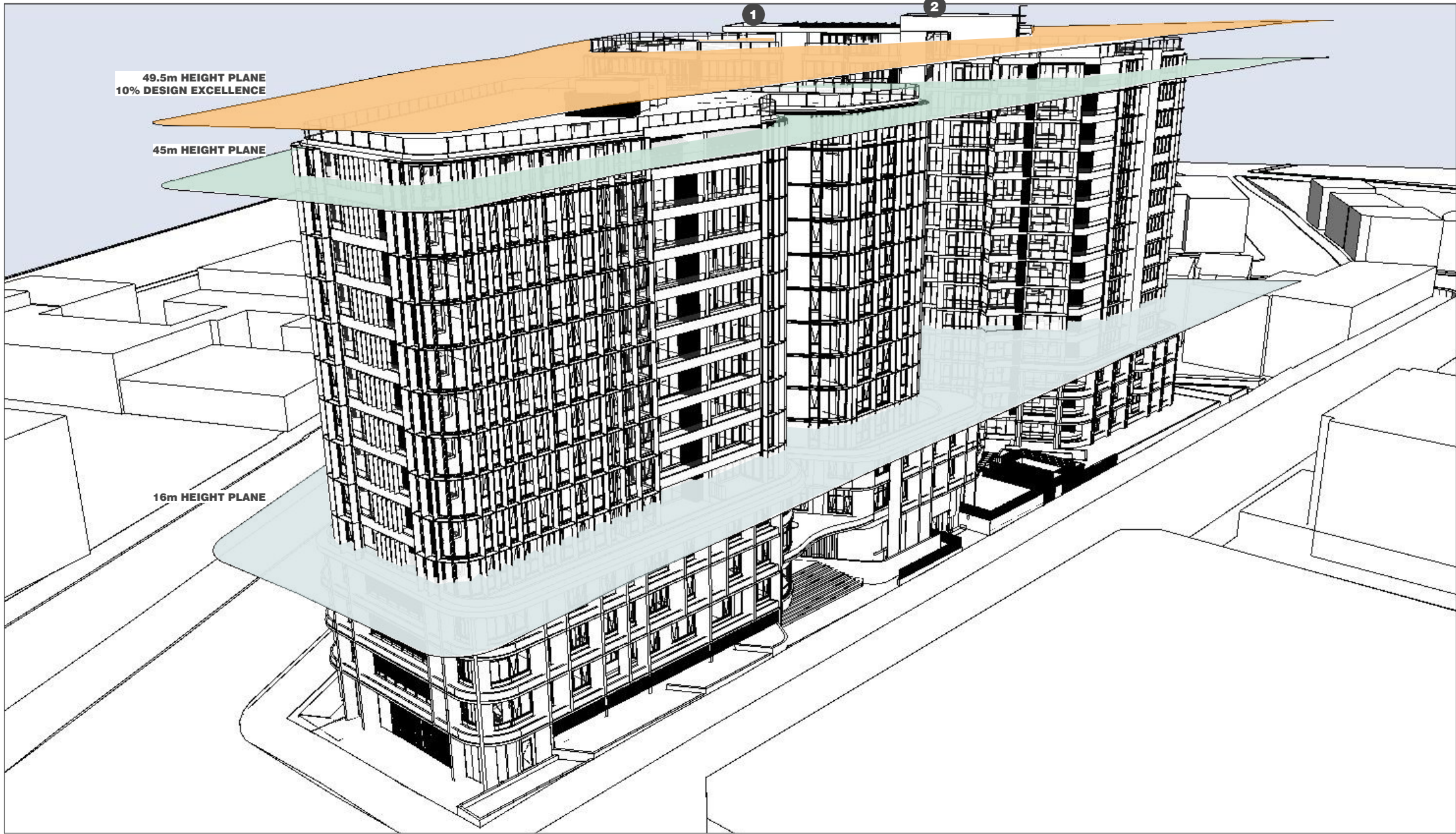
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(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)	
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<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	04.10.2023	RM	30.11.2023	22104	N.T.S.@A3

PROJECT	
309 King Street Newcastle NSW 2302	
DRAWING TITLE	
HEIGHT PLANE ANALYSIS VIEW 1	

FENDER KATSALIDIS	
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032	
ISSUE PURPOSE	
4.55 APPLICATION	

REV.	DRAWING NO.
11	DA504



LEGEND

1. TOWER B - PV PANELS & AWNING - 1525mm OVER 49.5m
2. TOWER B - LIFT O/R - 2255mm OVER 49.5m

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION				REVISION			
01	DEVELOPMENT APPLICATION	IM	29.08.2018	09	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019	10	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023
03	FOR COUNCIL DISCUSSION	PM	28.11.2022	> 11	AMENDED SECTION 4.55 APPLICATION SUBMISSION	RL	04.10.2023
04	FOR COUNCIL DISCUSSION	PM	29.11.2022				
05	CONCEPT DESIGN ISSUE	RAS	03.02.2023				
06	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023				
07	ISSUE FOR REVIEW	RAS	06.04.2023				
		PM	17.05.2023				

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IM	04.10.2023	RM	30.11.2023	22104	N.T.S.@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

HEIGHT PLANE ANALYSIS VIEW 2

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NEW SOUTH WALES 2000 AUSTRALIA

TELEPHONE: +61 2 8216 3500

FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

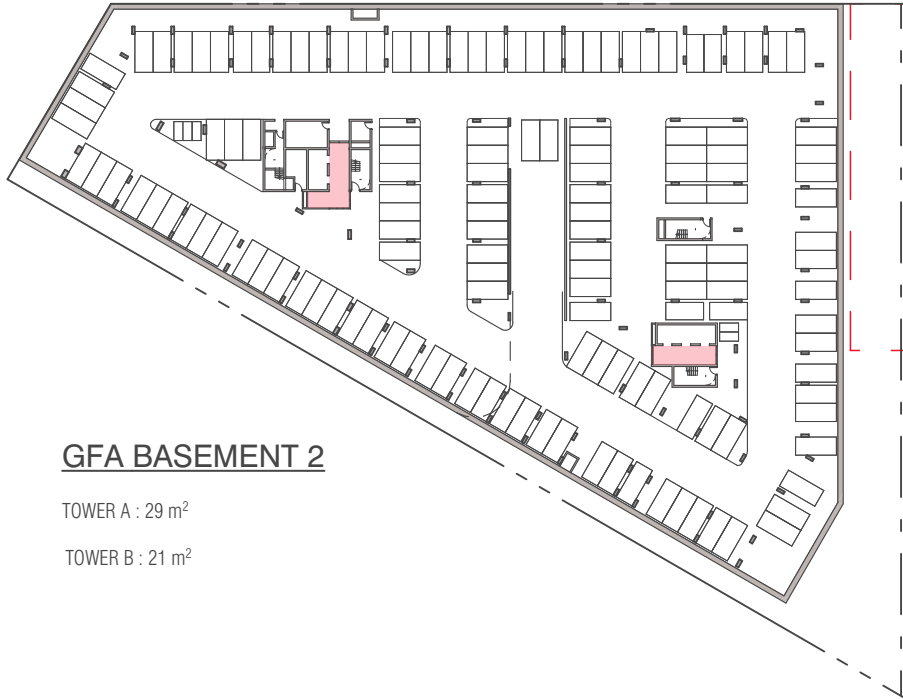
ISSUE PURPOSE

4.55 APPLICATION



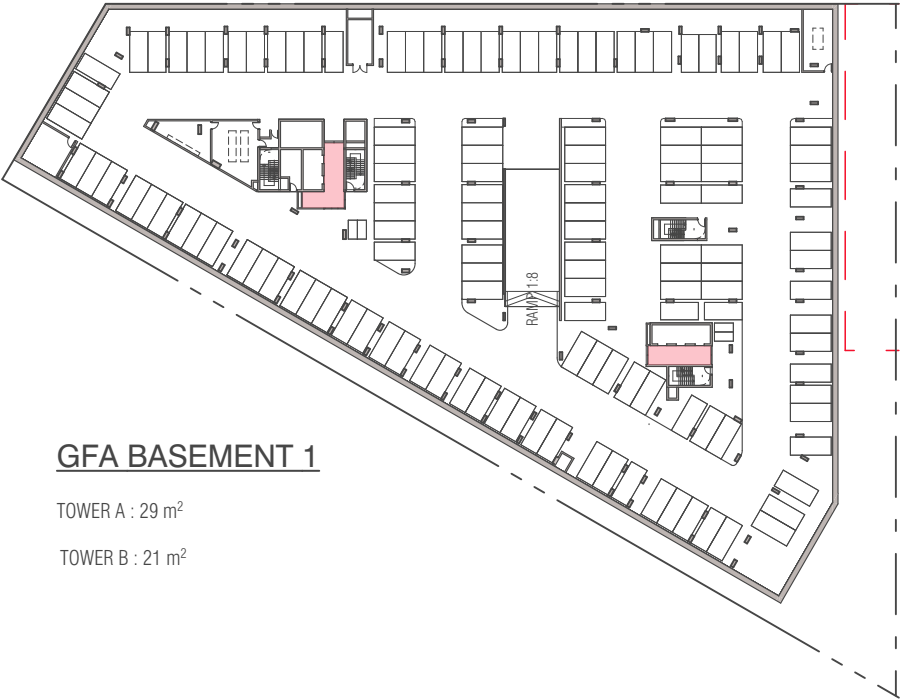
REV. 11

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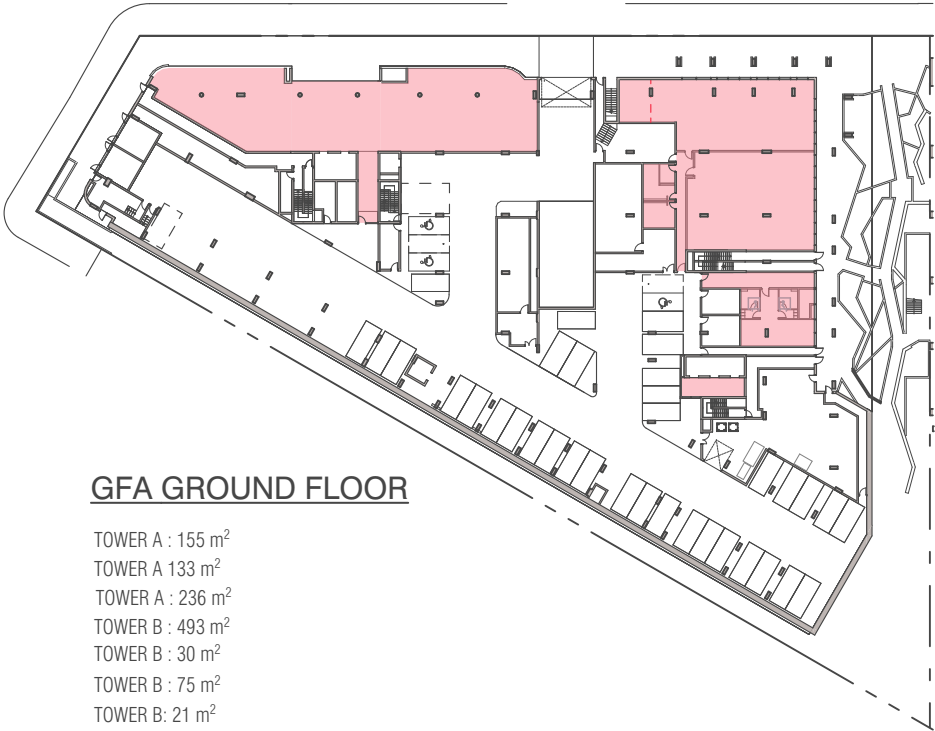
GFA BASEMENT 2

TOWER A : 29 m²
TOWER B : 21 m²



GFA BASEMENT 1

TOWER A : 29 m²
TOWER B : 21 m²



GFA GROUND FLOOR

TOWER A : 155 m²
TOWER A : 133 m²
TOWER A : 236 m²
TOWER B : 493 m²
TOWER B : 30 m²
TOWER B : 75 m²
TOWER B : 21 m²



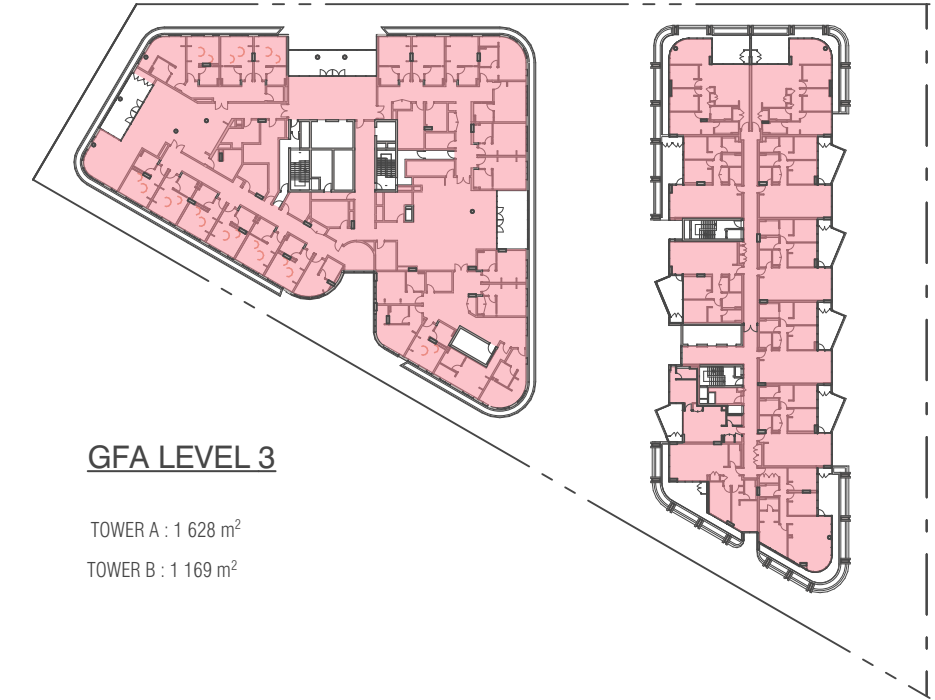
GFA LEVEL 1

TOWER A : 1 512 m²
TOWER A : 70 m²
TOWER B : 1 178 m²



GFA LEVEL 2

TOWER A : 1 628 m²
TOWER B : 1 169 m²



GFA LEVEL 3

TOWER A : 1 628 m²
TOWER B : 1 169 m²

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DRAWN

AR

DATE

06.06.2023

CHECKED

RM

PLOT DATE

30.11.2023

JOB NO.

22104

SCALE

1:1000@A3

PROJECT

309 King Street
Newcastle NSW 2302

FENDER KATSALIDIS

WWW.FKAUSTRALIA.COM

L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA

TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

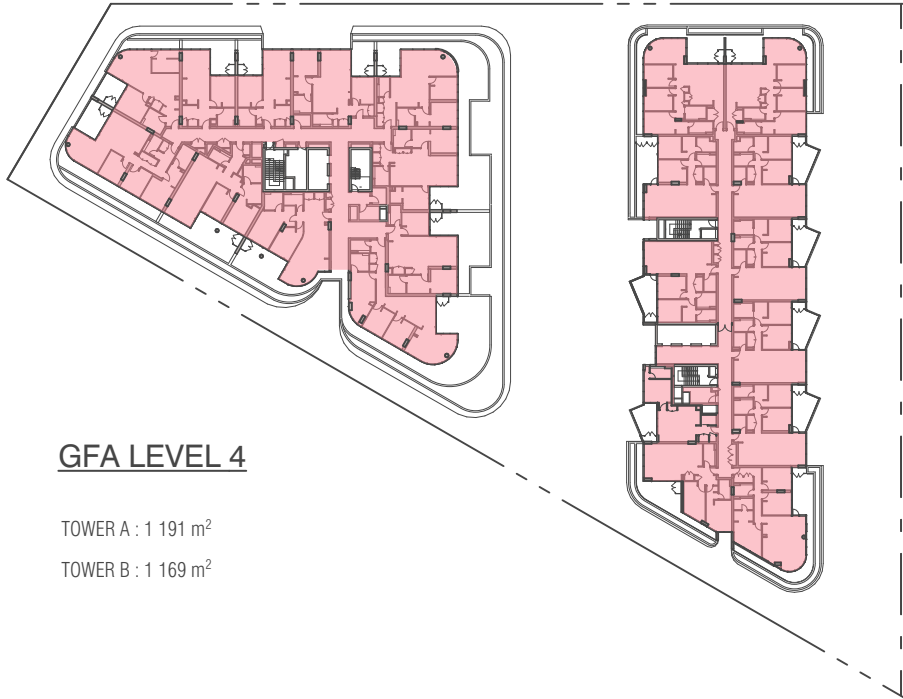
4.55 APPLICATION

REV.

10

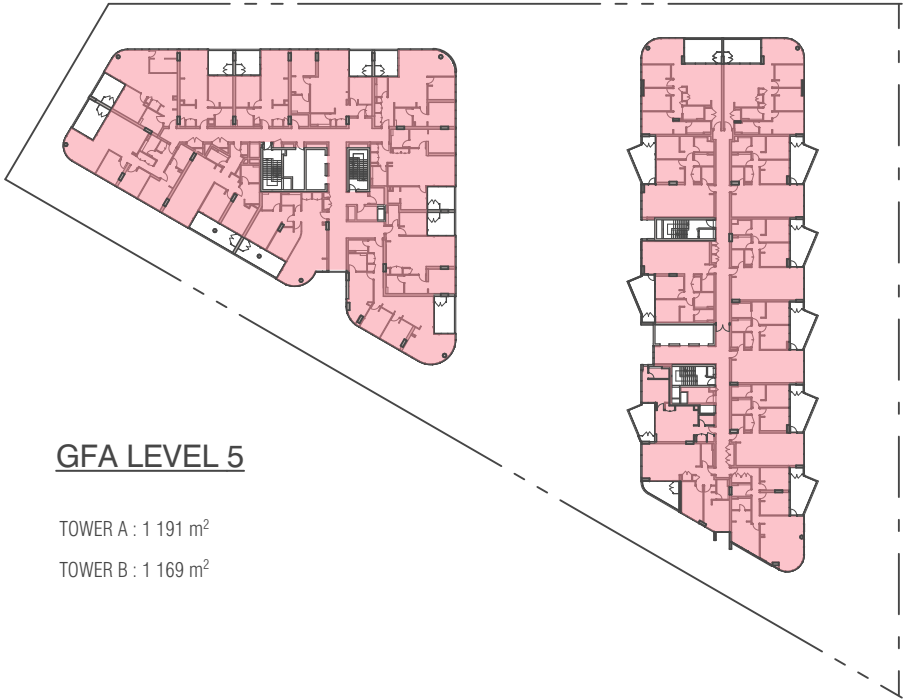
DRAWING NO.

DA511



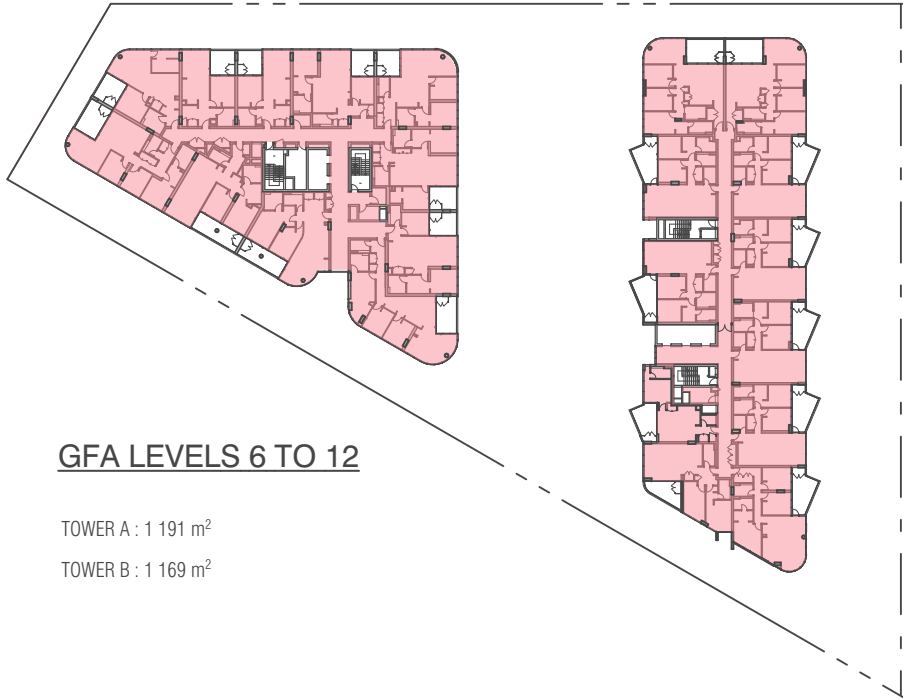
GFA LEVEL 4

TOWER A : 1 191 m²
TOWER B : 1 169 m²



GFA LEVEL 5

TOWER A : 1 191 m²
TOWER B : 1 169 m²



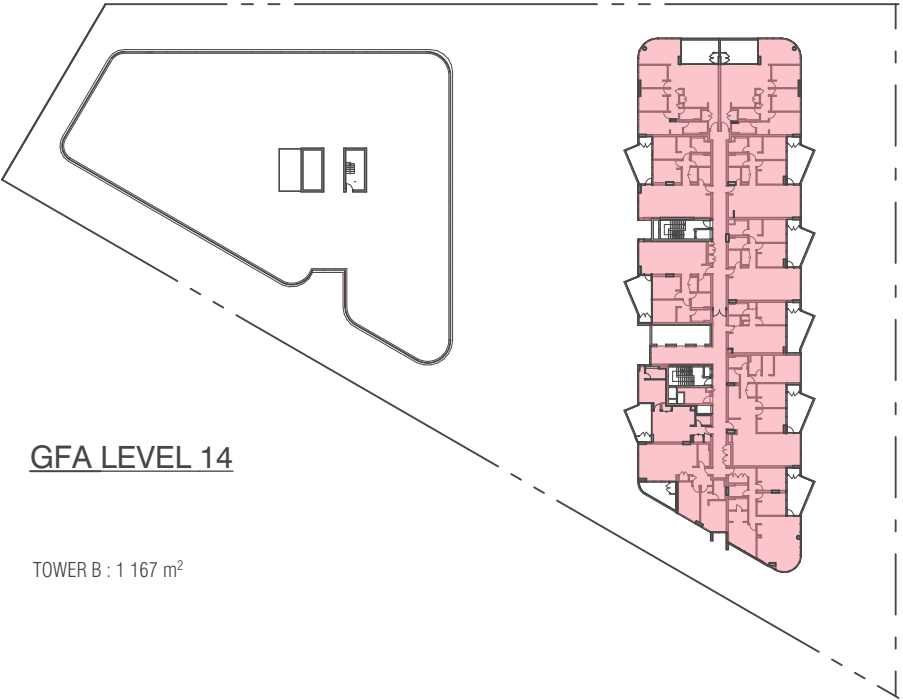
GFA LEVELS 6 TO 12

TOWER A : 1 191 m²
TOWER B : 1 169 m²



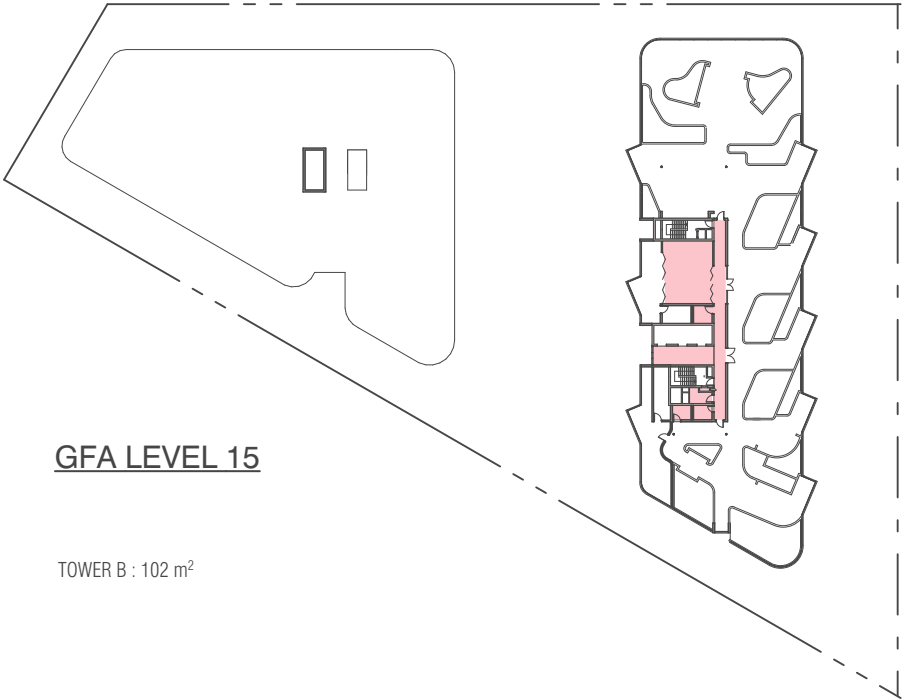
GFA LEVEL 13

TOWER A : 1 227 m²
TOWER B : 1 167 m²



GFA LEVEL 14

TOWER B : 1 167 m²



GFA LEVEL 15

TOWER B : 102 m²

GFA SCHEDULE		
	LEVEL	AREA
TOWER A	BASEMENT 2	29
	BASEMENT 1	29
	GROUND FLOOR	505
	LEVEL 1	2 760
	LEVEL 2	1 628
	LEVEL 3	1 628
	LEVEL 4	1 191
	LEVEL 5	1 191
	LEVEL 6	1 191
	LEVEL 7	1 191
	LEVEL 8	1 191
	LEVEL 9	1 191
	LEVEL 10	1 191
	LEVEL 11	1 191
	LEVEL 12	1 191
	LEVEL 13	1 227
		18 525 m²
TOWER B		
SITE AREA : 6 631sqm FSR : 5.42:1	BASEMENT 2	21
	BASEMENT 1	21
	GROUND FLOOR	619
	LEVEL 2	1 169
	LEVEL 3	1 169
	LEVEL 4	1 169
	LEVEL 5	1 169
	LEVEL 6	1 169
	LEVEL 7	1 169
	LEVEL 8	1 167
	LEVEL 9	1 167
	LEVEL 10	1 167
	LEVEL 11	1 167
	LEVEL 12	1 167
	LEVEL 13	1 167
	LEVEL 14	1 167
	LEVEL 15	139
		15 983 m²
		34 508 m²



LEVEL 1

TOWER A - RAC
Not Applicable

TOWER B - 9 RESIDENTIAL APARTMENTS
5 Apartments Cross Ventilated
4 Apartments Not Cross Ventilated



LEVEL 2

TOWER A - RAC
Not Applicable

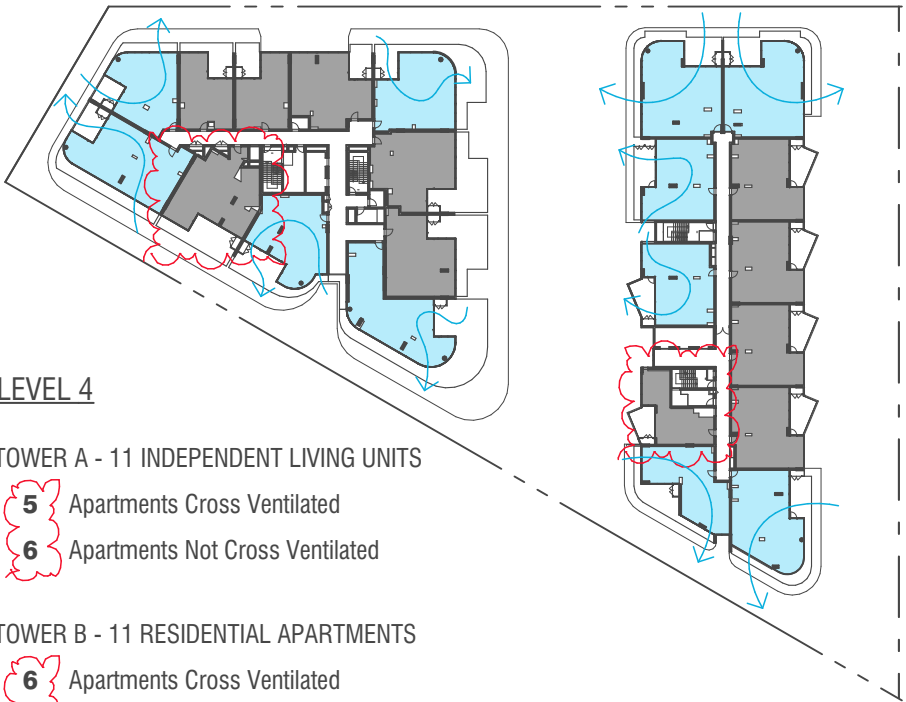
TOWER B - 11 RESIDENTIAL APARTMENTS
6 Apartments Cross Ventilated
5 Apartments Not Cross Ventilated



LEVEL 3

PODIUM A - RAC
Not Applicable

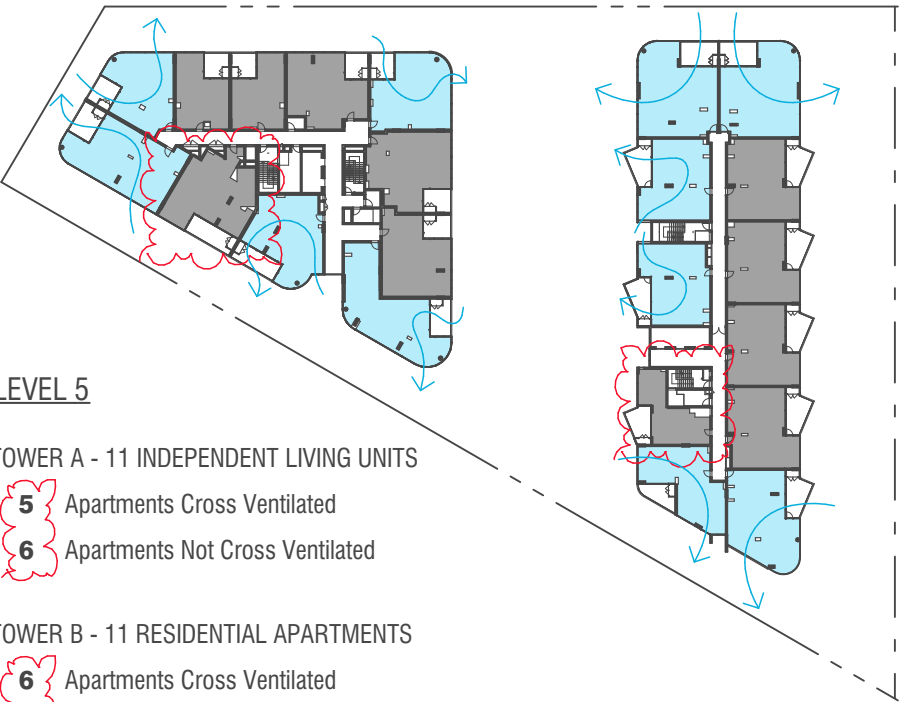
TOWER B - 11 RESIDENTIAL APARTMENTS
6 Apartments Cross Ventilated
5 Apartments Not Cross Ventilated



LEVEL 4

TOWER A - 11 INDEPENDENT LIVING UNITS
5 Apartments Cross Ventilated
6 Apartments Not Cross Ventilated

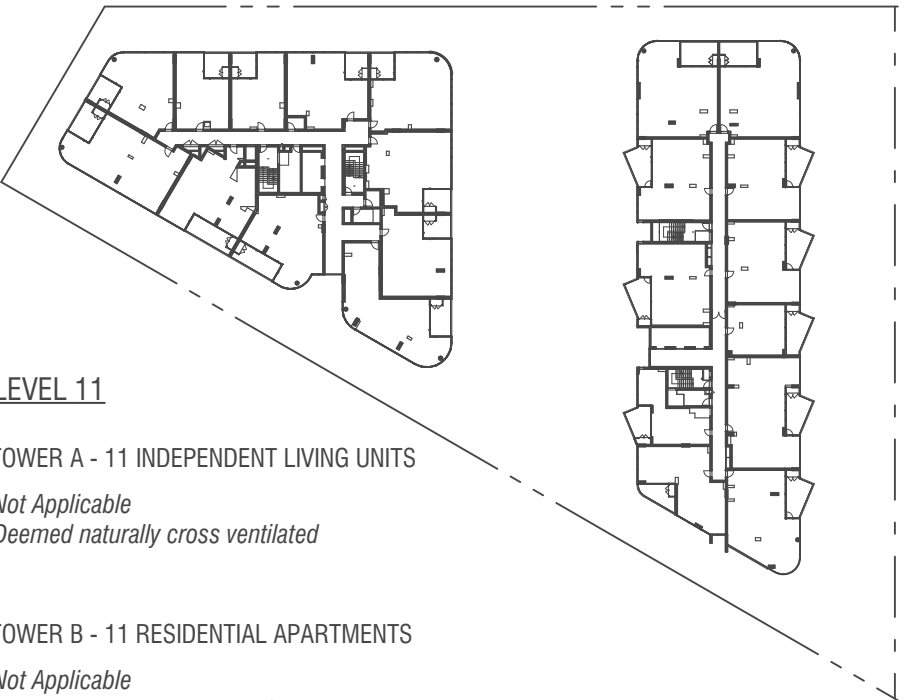
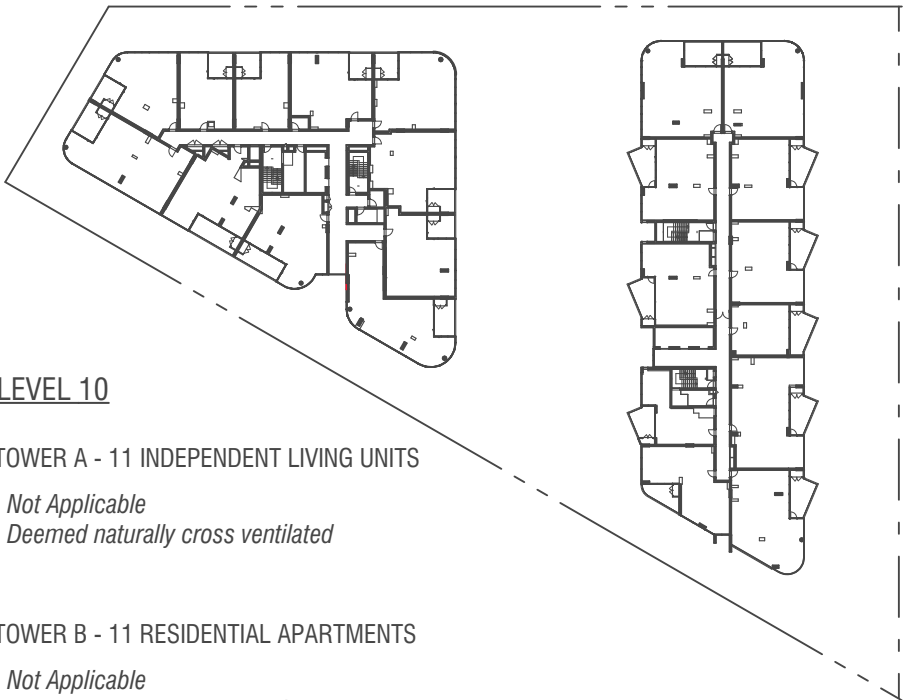
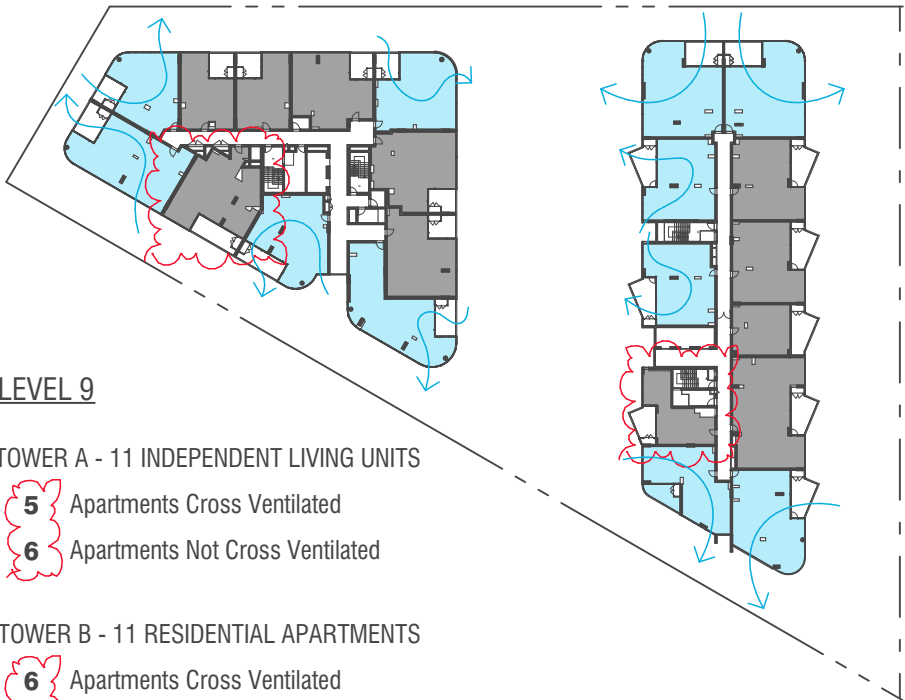
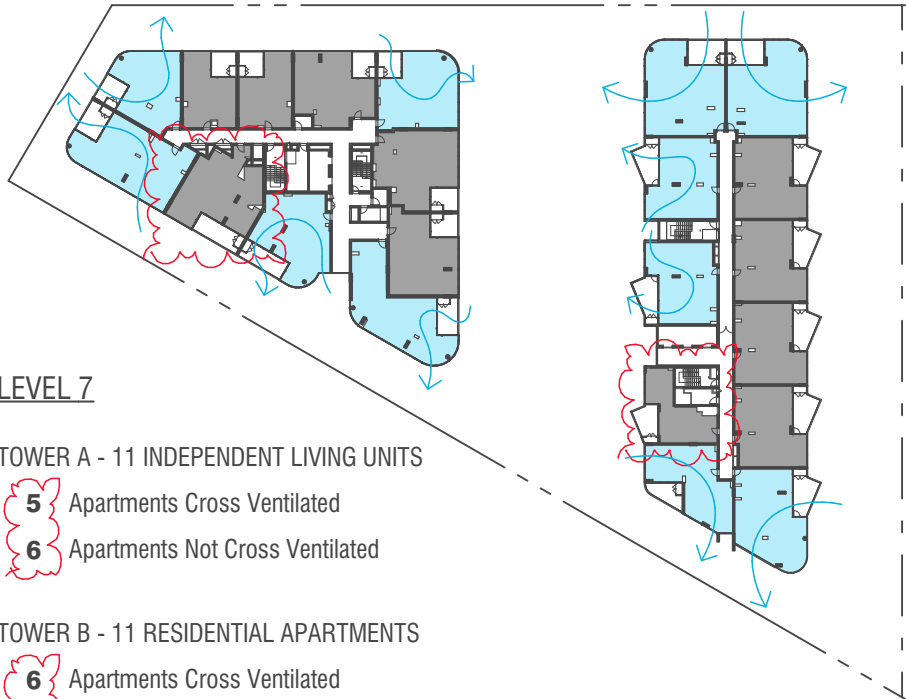
TOWER B - 11 RESIDENTIAL APARTMENTS
6 Apartments Cross Ventilated
5 Apartments Not Cross Ventilated



LEVEL 5

TOWER A - 11 INDEPENDENT LIVING UNITS
5 Apartments Cross Ventilated
6 Apartments Not Cross Ventilated

TOWER B - 11 RESIDENTIAL APARTMENTS
6 Apartments Cross Ventilated
5 Apartments Not Cross Ventilated



REVISION				REVISION			
01	GFA CALCULATIONS	BB	29.08.2018	09	SECTION 4.55 APPLICATION SUBMISSION	RL	06.06.2023
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019				
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06	ISSUE FOR REVIEW	RAS	06.04.2023				
07	TOWER A AND B SCHEMATIC DESIGN	PM	17.05.2023				
		TF	03.03.2023				

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.06.2023	RM	30.11.2023	22104	1:1000@A3



PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
PROPOSED CROSS VENTILATION DIAGRAMS

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WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

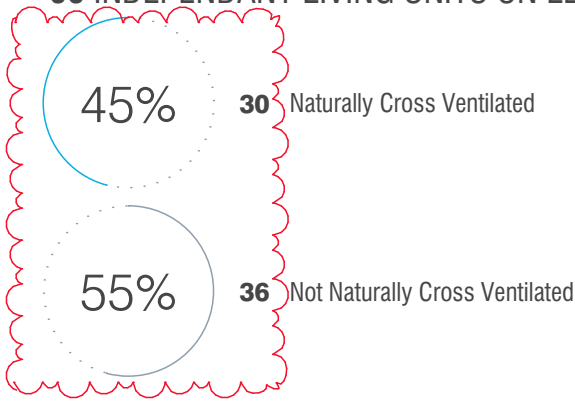
ISSUE PURPOSE
4.55 APPLICATION



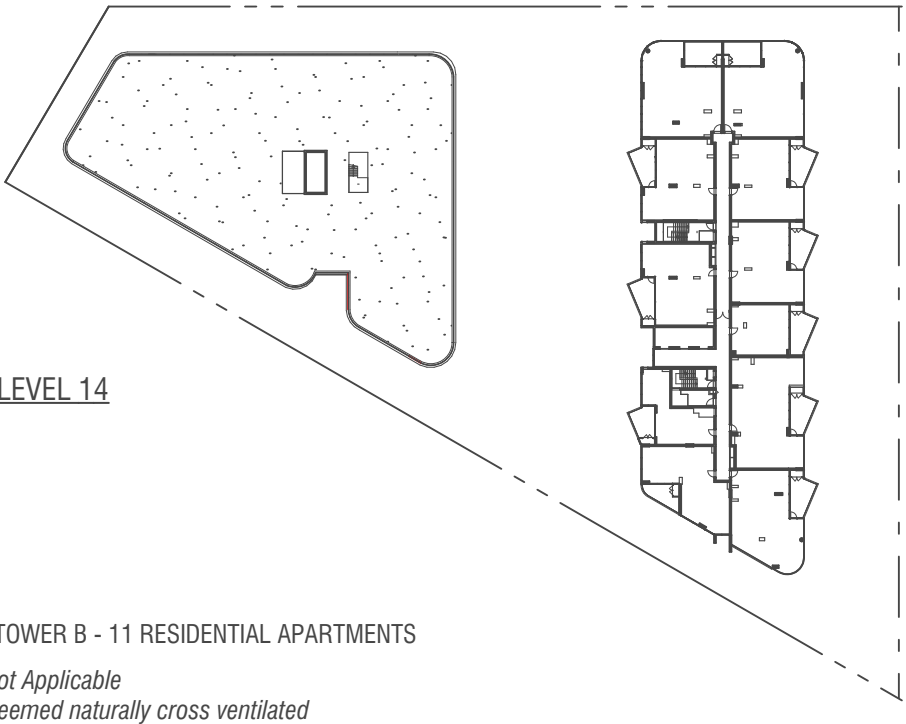
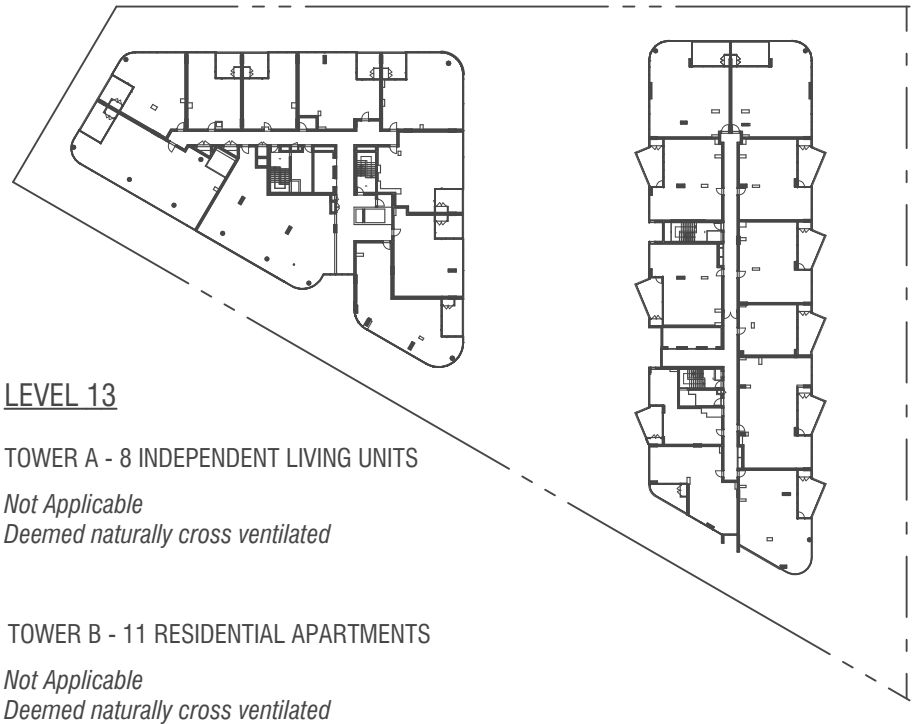
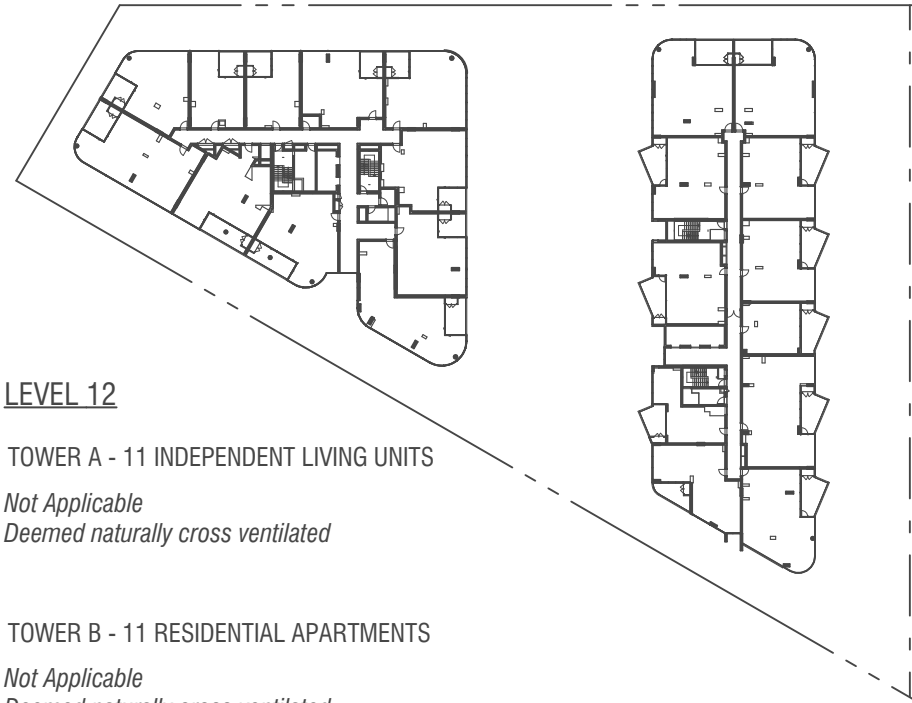
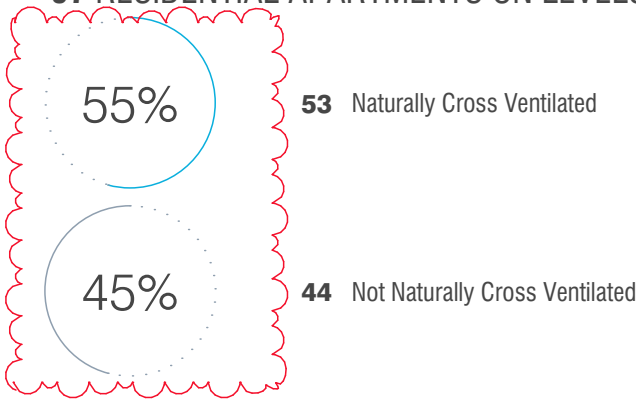
REV. 09
DRAWING NO.
DA515

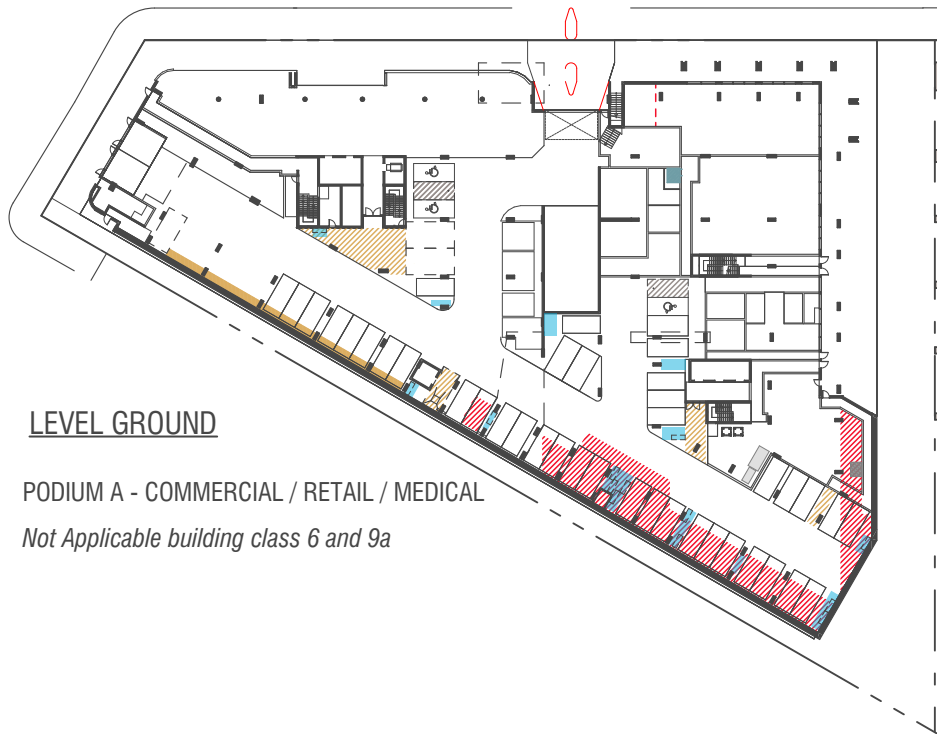
S U M M A R Y

TOWER A NATURAL CROSS VENTILATION
66 INDEPENDANT LIVING UNITS ON LEVELS 4 - 9



TOWER B NATURAL CROSS VENTILATION
97 RESIDENTIAL APARTMENTS ON LEVELS 1 - 9





LEVEL GROUND

PODIUM A - COMMERCIAL / RETAIL / MEDICAL
Not Applicable building class 6 and 9a



LEVEL 1

TOWER A - 4 INDEPENDENT LIVING UNITS
Not Applicable

PODIUM B - 9 RESIDENTIAL APARTMENTS

- 2 > 2 hrs Solar Access
- 6 < 2 hrs Solar Access
- 1 0 hrs Solar Access



LEVEL 2

PODIUM A - RAC
Not Applicable

TOWER B - 11 RESIDENTIAL APARTMENTS

- 7 > 2 hrs Solar Access
- 3 < 2 hrs Solar Access
- 1 0 hrs Solar Access

- LEGEND
- > 2 hrs Solar Access
 - < 2 hrs Solar Access
 - 0 hrs Solar Access

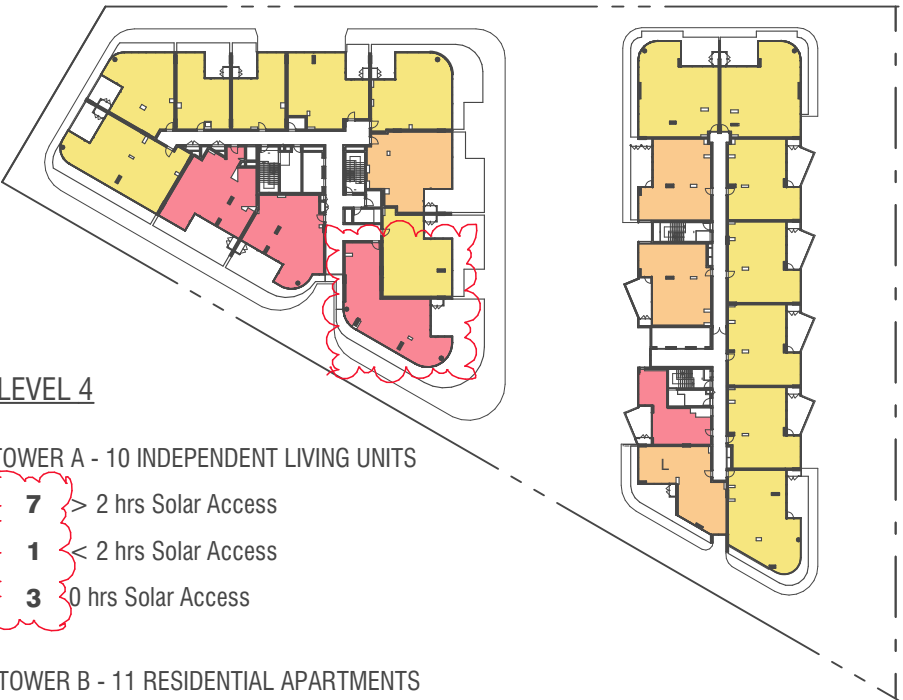


LEVEL 3

PODIUM A - RAC
Not Applicable

TOWER B - 11 RESIDENTIAL APARTMENTS

- 7 > 2 hrs Solar Access
- 3 < 2 hrs Solar Access
- 1 0 hrs Solar Access



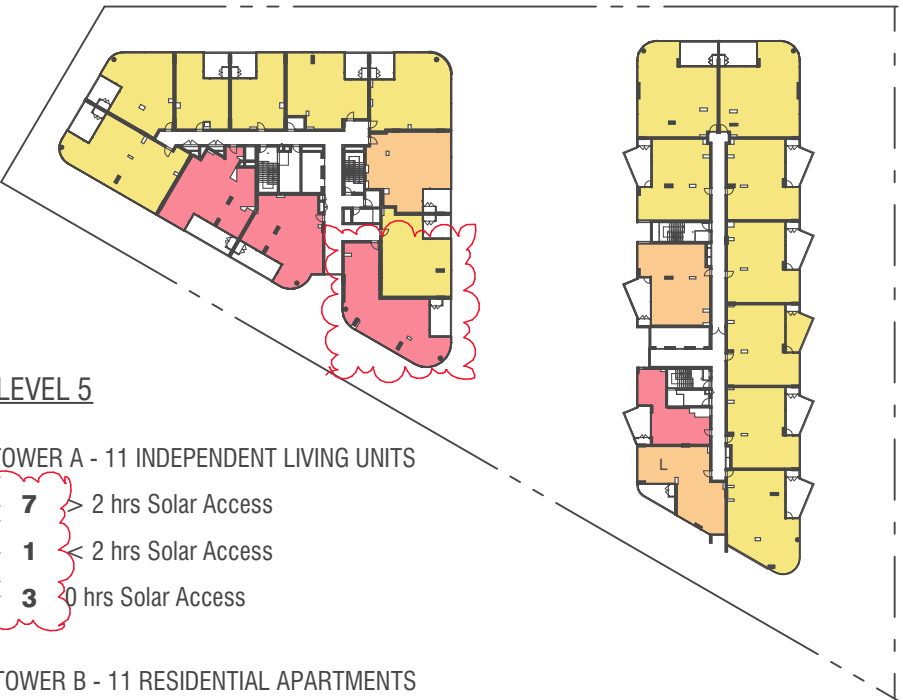
LEVEL 4

TOWER A - 10 INDEPENDENT LIVING UNITS

- 7 > 2 hrs Solar Access
- 1 < 2 hrs Solar Access
- 3 0 hrs Solar Access

TOWER B - 11 RESIDENTIAL APARTMENTS

- 7 > 2 hrs Solar Access
- 3 < 2 hrs Solar Access
- 1 0 hrs Solar Access



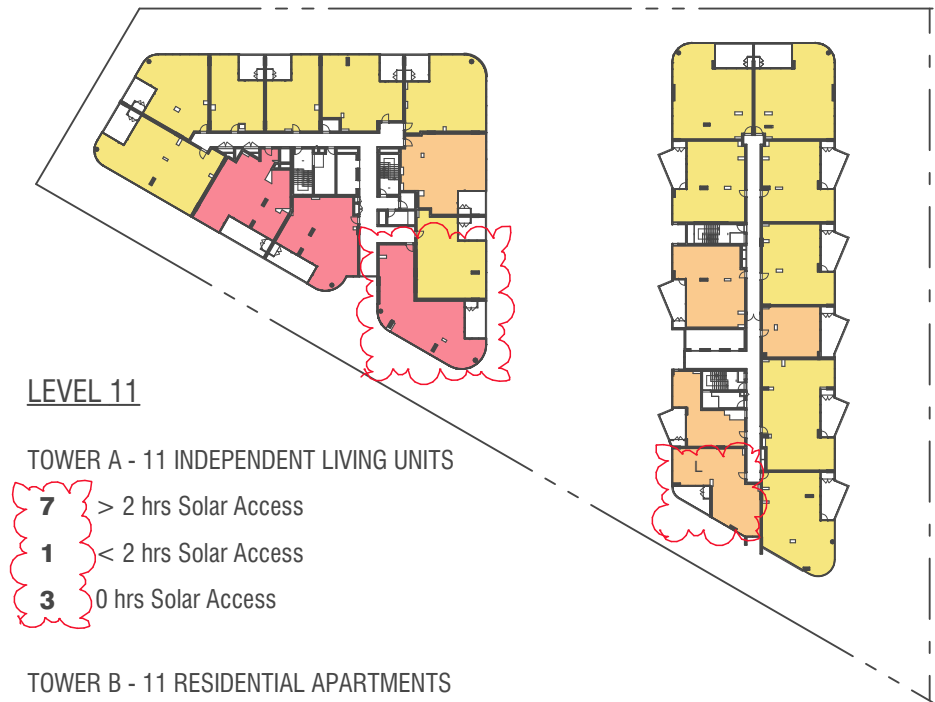
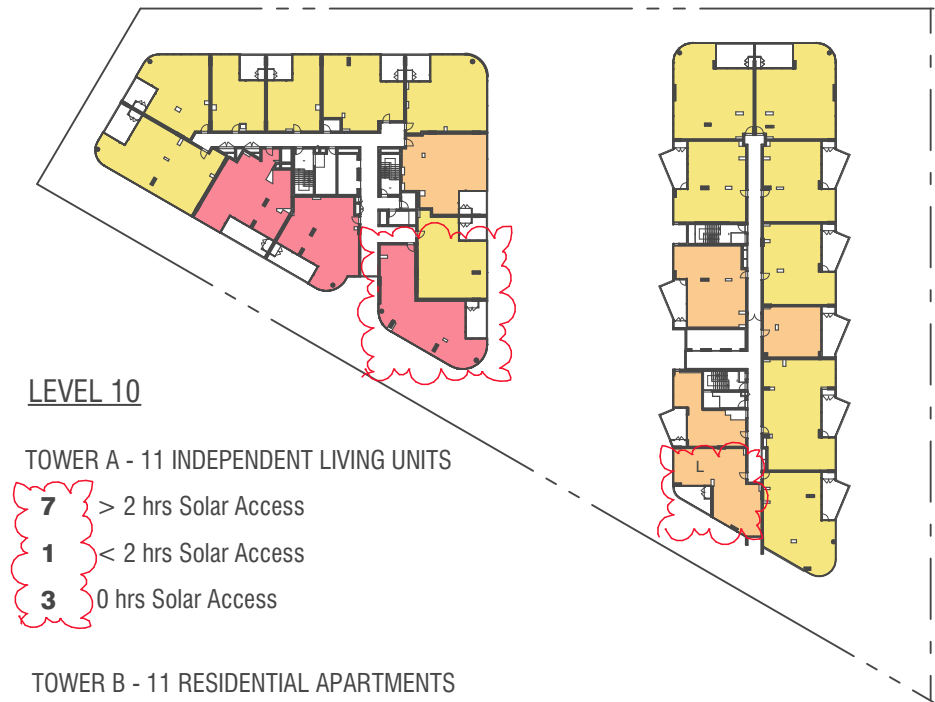
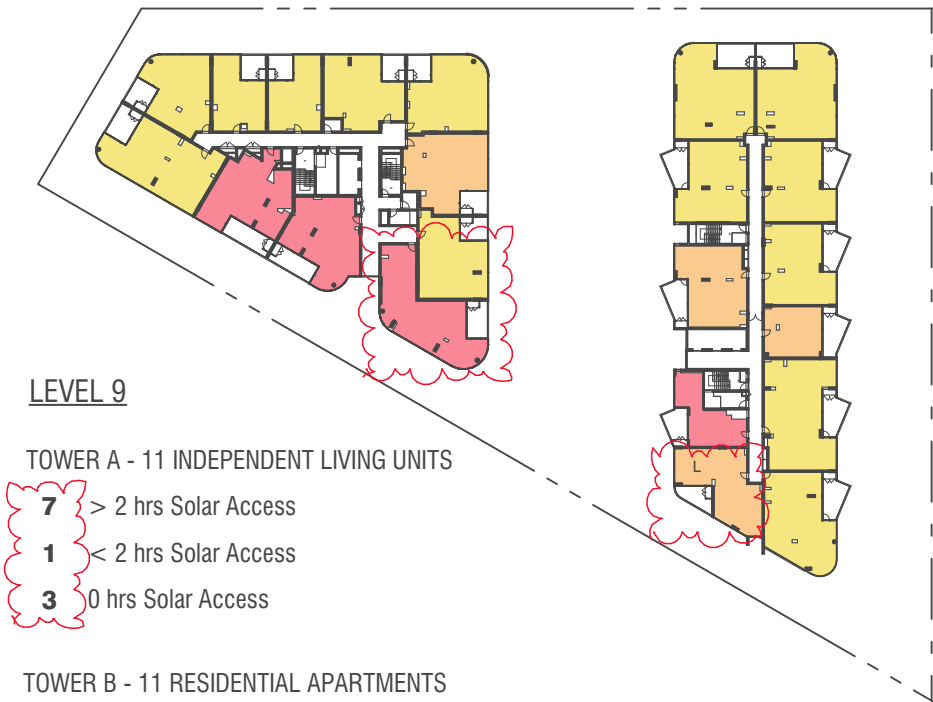
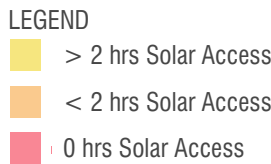
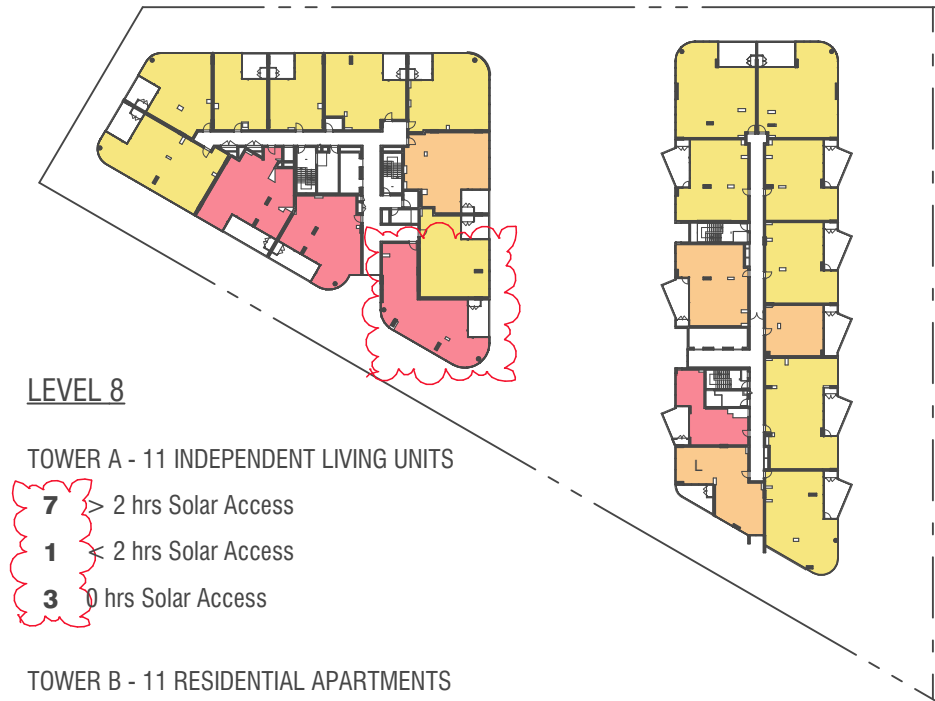
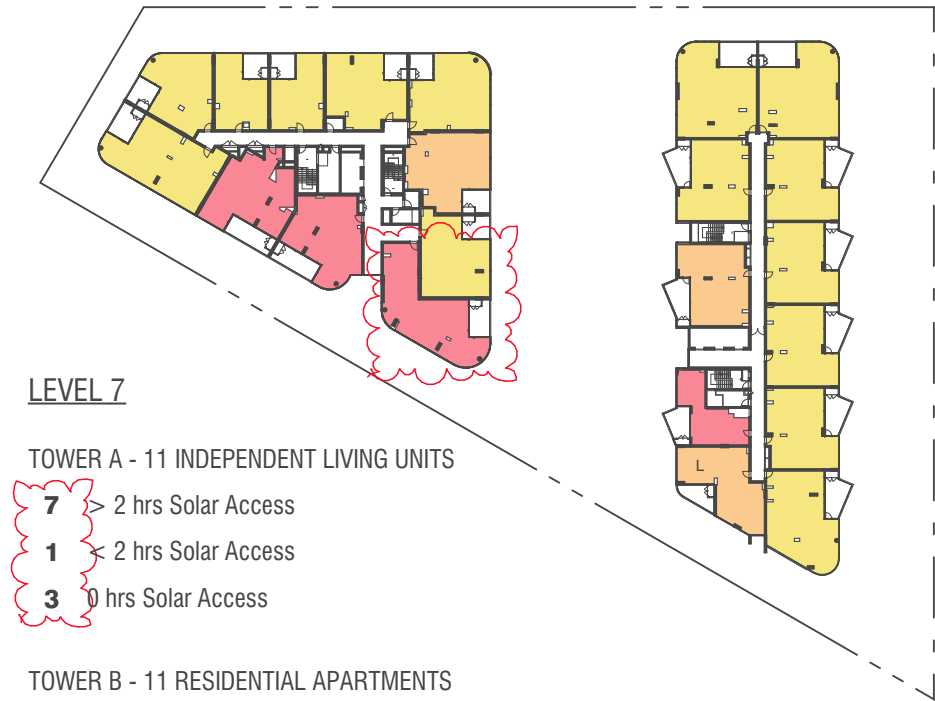
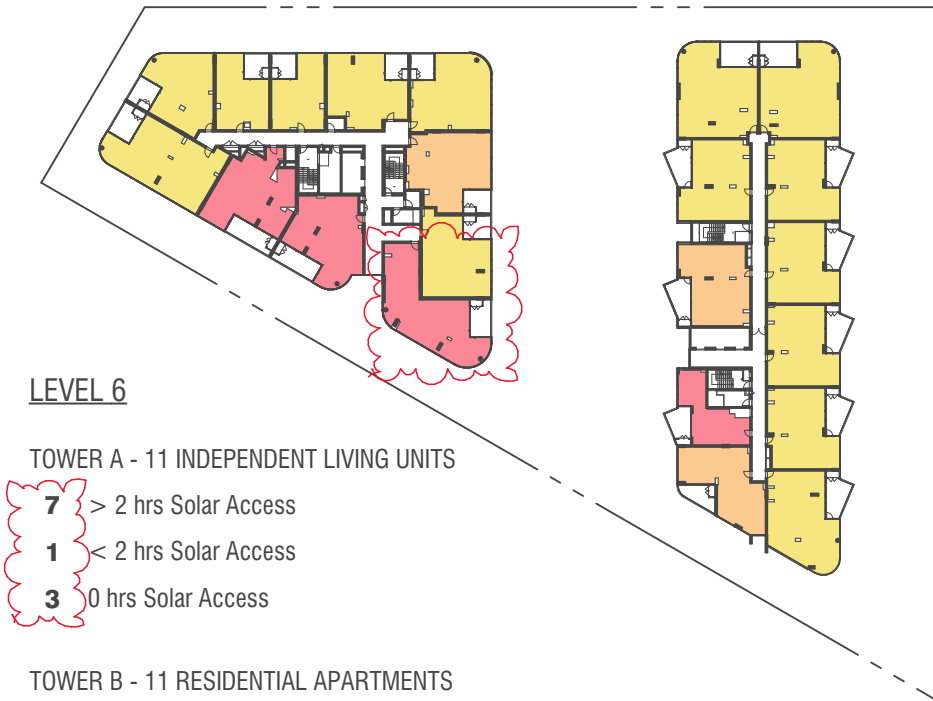
LEVEL 5

TOWER A - 11 INDEPENDENT LIVING UNITS

- 7 > 2 hrs Solar Access
- 1 < 2 hrs Solar Access
- 3 0 hrs Solar Access

TOWER B - 11 RESIDENTIAL APARTMENTS

- 8 > 2 hrs Solar Access
- 2 < 2 hrs Solar Access
- 1 0 hrs Solar Access



REVISION	MP	29.08.2018	REVISION	09	SECTION 4.55 APPLICATION SUBMISSION	RL	06.06.2023
01	DEVELOPMENT APPLICATION						
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019				
03	FOR COUNCIL DISCUSSION	PM	28.11.2022				
04	CONCEPT DESIGN ISSUE	RAS	03.02.2023				
05	TOWER B - SCHEMATIC DESIGN	AR	03.03.2023				
06	ISSUE FOR REVIEW	RAS	06.04.2023				
07	TOWER A AND B SCHEMATIC DESIGN	PM	17.05.2023				
		TF	03.03.2023				

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

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- ☐ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.06.2023	RM	17.01.2024	22104	1:1000@A3



PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE

PROPOSED SOLAR ACCESS DIAGRAMS

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

4.55 APPLICATION



REV. 09 **DRAWING NO.** DA518

SUMMARY

TOWER A SOLAR ACCESS 107 INDEPENDENT LIVING UNITS

65% 69 > 2 hrs Solar Access

9% 10 0 to 2 hrs Solar Access

26% 28 0 hrs Solar Access

TOWER B SOLAR ACCESS 152 RESIDENTIAL APARTMENTS

65% 99 > 2 hrs Solar Access

29% 44 0 to 2 hrs Solar Access

6% 9 0 hrs Solar Access

LEVEL 12

TOWER A - 11 INDEPENDENT LIVING UNITS

- 7 > 2 hrs Solar Access
- 1 < 2 hrs Solar Access
- 3 0 hrs Solar Access

TOWER B - 11 RESIDENTIAL APARTMENTS

- 8 > 2 hrs Solar Access
- 3 < 2 hrs Solar Access
- 0 0 hrs Solar Access

LEGEND

- > 2 hrs Solar Access
- < 2 hrs Solar Access
- 0 hrs Solar Access

LEVEL 13

TOWER A - 8 INDEPENDENT LIVING UNITS

- 6 > 2 hrs Solar Access
- 1 < 2 hrs Solar Access
- 1 0 hrs Solar Access

TOWER B - 11 RESIDENTIAL APARTMENTS

- 8 > 2 hrs Solar Access
- 3 < 2 hrs Solar Access
- 0 0 hrs Solar Access

LEVEL 14

TOWER B - 11 RESIDENTIAL APARTMENTS

- 8 > 2 hrs Solar Access
- 3 < 2 hrs Solar Access
- 0 0 hrs Solar Access

BIMcloud: Topprdbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION		REVISION	
01	DEVELOPMENT APPLICATION	MP	29.08.2018	09	SECTION 4.55 APPLICATION SUBMISSION
02	DEVELOPMENT APPLICATION FOR COUNCIL	BB	19.08.2019	RL	06.06.2023
03	FOR COUNCIL DISCUSSION	PM	28.11.2022		
04	CONCEPT DESIGN ISSUE	RAS	03.02.2023		
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07	TOWER A AND B SCHEMATIC DESIGN	PM	17.05.2023		
		TF	03.03.2023		

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
IM	06.06.2023	RM	17.01.2024	22104	1:1000@A3



PROJECT
309 King Street Newcastle NSW 2302

DRAWING TITLE
PROPOSED SOLAR ACCESS DIAGRAMS

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
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NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

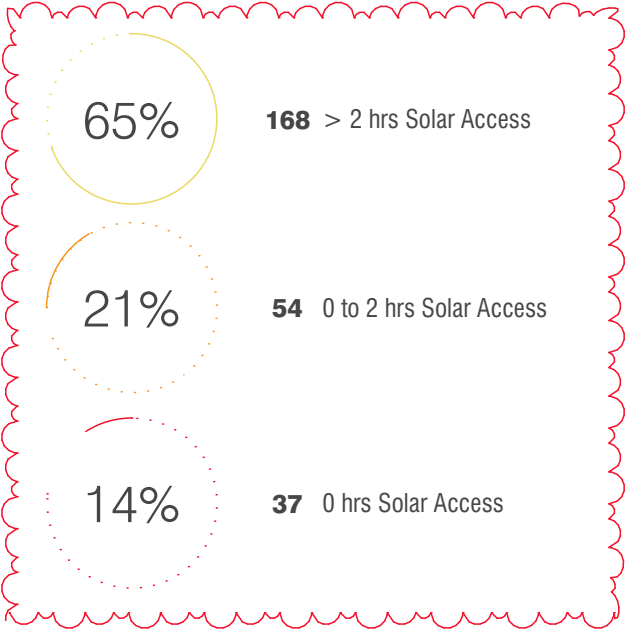


REV.	DRAWING NO.
09	DA519

June 2023	BSA Reference: 13436		
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www. buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with, in particular the following:			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			
Thermal Performance Specifications (sole occupancy units only)			
External Wall Construction		Added Insulation	
Concrete + Plasterboard		R2.0	
Lightweight & Colour backed glazing		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs & Concrete (internal to units)		None	
Plasterboard on studs (adjacent to common lobbies)		R2.0	
Concrete + Plasterboard (adjacent to lift/stair cores)		R1.0	
Plasterboard on double studs (party wall between units)		R2.0 + R2.0	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof and decks above	
Roof Construction		Colour (Solar Absorptance)	Added Insulation
Concrete		Concrete default (SA0.70)	None
Floor Construction		Covering	Added Insulation
Concrete		As drawn (if not noted default values used)	R2.0 to units B109 & B110
Concrete		R1.0 to all other units with open or carpark below	
Windows	Glass and frame type	U value	SHGC Range Area sq m
Performance glazing Type A		3.40	0.42 - 0.52 A#02 & A#05 level 4 to 13
Performance glazing Type B		3.40	0.48 - 0.58 A#02 & A#05 level 4 to 13
Performance glazing Type A		4.80	0.46 - 0.56 All other units
Performance glazing Type B		4.80	0.53 - 0.65 All other units
Type A windows are awning windows, bifolds, casements, tilt 'n 'turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres			
Skylights	Glass and frame type	U	SHGC Area sq m Detail
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA			
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Additional Notes			
Nil			

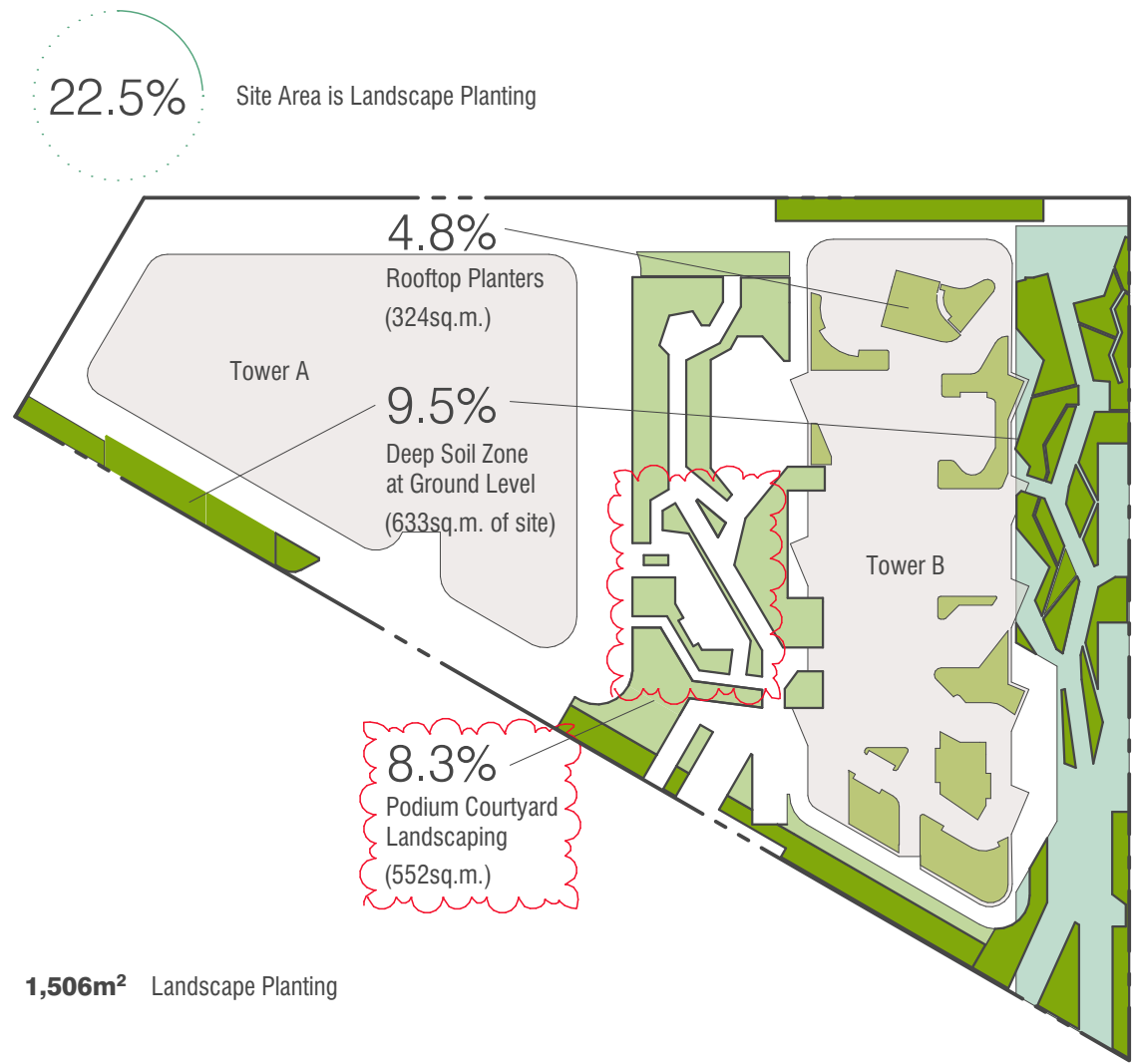
SOLAR ACCESS

ACROSS BOTH TOWERS - 259 APARTMENTS



LANDSCAPE

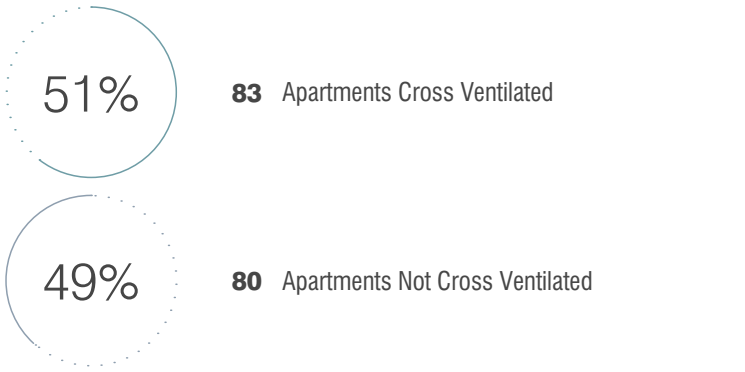
ACROSS THE WHOLE SITE (EXCLUDES BALCONY PLANTER BOXES)



1,506m² Landscape Planting

CROSS VENTILATION

ACROSS BOTH TOWERS - 163 APARTMENTS ON LEVELS 1 - 9



COMMUNAL AREA

TOWER A COMMON AREA SCHEDULE		
	SPACE	AREA
LEVEL 1	ARTS & CRAFTS	59
	CHANGE_ROOMS	20
	GYM	73
	INDOOR_POOL	219
	LIBRARY & GAMES	234
	PARTY ROOM	157
	RESIDENTS DINING	239
	RESIDENTS LOUNGE	254
	THEATRE	43
	COMMUNAL OPEN SPACE	394
LEVEL 13	SKY DINING	148
		1,840 m ²

TOWER B COMMON AREA SCHEDULE		
	SPACE	AREA
LEVEL 1	COMMUNAL FACILITIES	103
	COMMUNAL OPEN SPACE	461
LEVEL 15	COMMUNAL OPEN SPACE	1,140
		1,704 m ²

APARTMENT MIX SCHEDULE			
		QTY	AREA
TOWER A			
	ILU - 1A	10	590
	ILU - 1B	10	580
	ILU - 2A	10	880
	ILU - 2B	10	940
	ILU - 2C	10	920
	ILU - 2D	10	880
	ILU - 2E	9	846
	ILU - 2F	9	864
	ILU - 2G	10	800
	ILU - 3A	10	1 140
	ILU - 3B	9	1 017
		107	9 457 m²
TOWER A			
	RAC	50	1,364
		50	1,364 m²
TOWER B			
	R - 1A	10	524
	R - 1B	3	156
	R - 1C	7	350
	R - 2A	22	1 946
	R - 2B	13	1 157
	R - 2C	7	609
	R - 2D	13	1 151
	R - 2E	14	1 176
	R - 2F	14	1 232
	R - 3A	10	1 120
	R - 3B	4	448
	R - 3C	6	672
	R - 3D	4	448
	R - 3E	4	448
	R - 3F	14	1 456
	R - 3G	7	861
		152	13 754 m²
		309	24575 m²

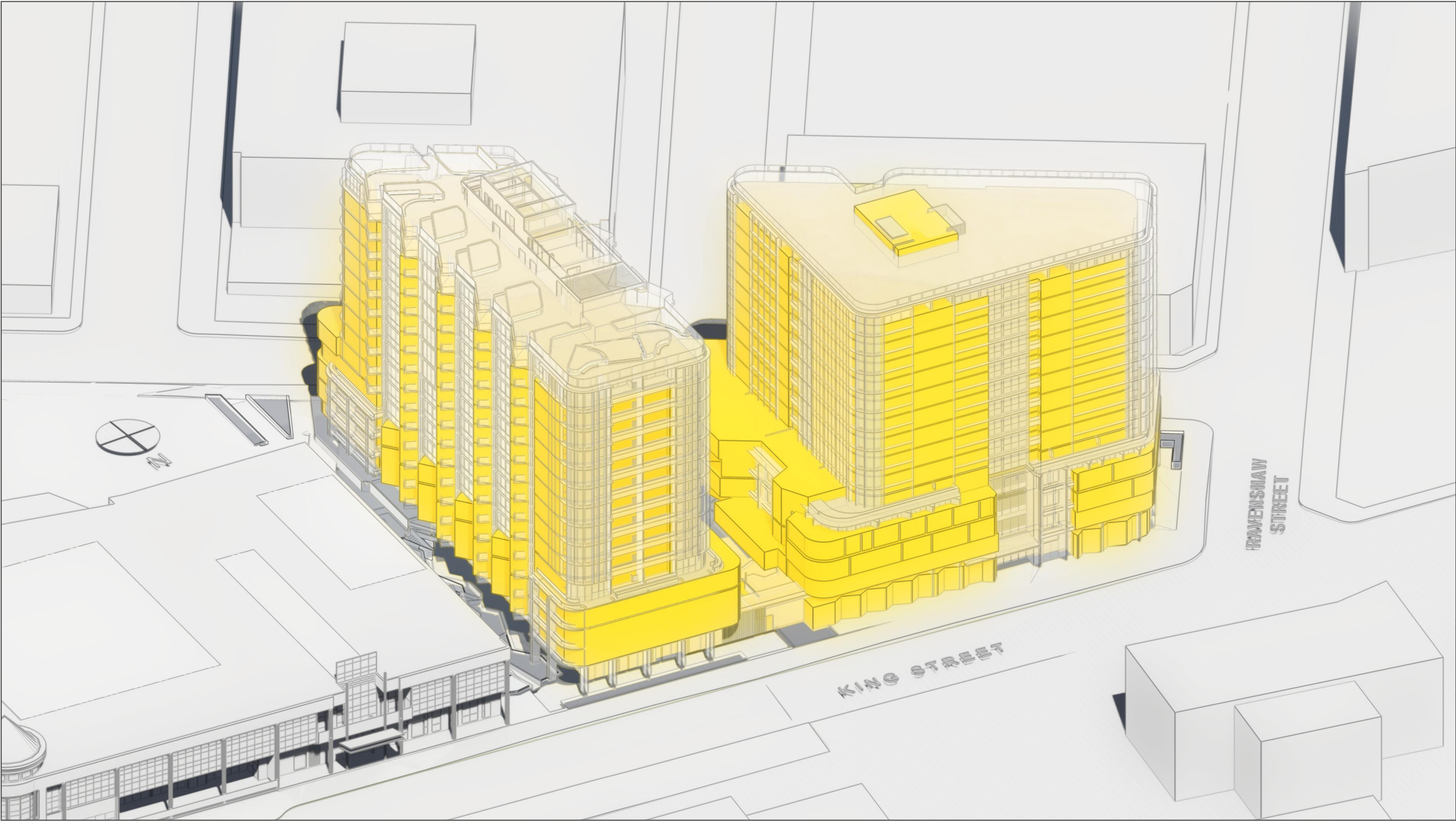
GFA SCHEDULE		
	LEVEL	AREA
TOWER A		
	BASEMENT 2	29
	BASEMENT 1	29
	GROUND FLOOR	505
	LEVEL 1	2 760
	LEVEL 2	1 628
	LEVEL 3	1 628
	LEVEL 4	1 191
	LEVEL 5	1 191
	LEVEL 6	1 191
	LEVEL 7	1 191
	LEVEL 8	1 191
	LEVEL 9	1 191
	LEVEL 10	1 191
	LEVEL 11	1 191
	LEVEL 12	1 191
LEVEL 13	1 227	
		18 525 m²
TOWER B		
	BASEMENT 2	21
	BASEMENT 1	21
	GROUND FLOOR	619
	LEVEL 2	1 169
	LEVEL 3	1 169
	LEVEL 4	1 169
	LEVEL 5	1 169
	LEVEL 6	1 169
	LEVEL 7	1 169
	LEVEL 8	1 167
	LEVEL 9	1 167
	LEVEL 10	1 167
	LEVEL 11	1 167
	LEVEL 12	1 167
	LEVEL 13	1 167
LEVEL 14	1 167	
LEVEL 15	139	
		15 983 m²
		34 508 m²

CARPARKING SCHEDULE	
GROUND FLOOR	
7 RAC	
2 SERVICE VEHICLE BAYS	
8 RETAIL / COM	
1 WASH BAY	
30 RES	
3 RES VISITOR PARKING	
TOTAL: 48 CAR BAYS	
BASEMENT 01	
55 ILU	
79 RESIDENTIAL	
TOTAL: 134 CAR BAYS	
BASEMENT 02	
52 ILU	
92 RESIDENTIAL	
TOTAL: 144 CAR BAYS	
<u>OVERALL TOTAL: 326</u>	

01 Apartment Mix Schedule

02 GFA Schedule

GFA & FSR	
SITE AREA	6,631 m ²
GFA	34,508 m ²
FSR	5.20:1



LEGEND : ● APPROVED ENVELOPE - DA2019/01169
● PROPOSED ENVELOPE

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	FOR COUNCIL DISCUSSION	PM	28.11.2022
01	FOR COUNCIL DISCUSSION	PM	29.11.2022
02	SECTION 4.55 APPLICATION SUBMISSION	RL	16.06.2023

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AB	16.06.2023	PM	30.11.2023	22104	N.T.S.@A3

PROJECT
309 King Street
Newcastle NSW 2302

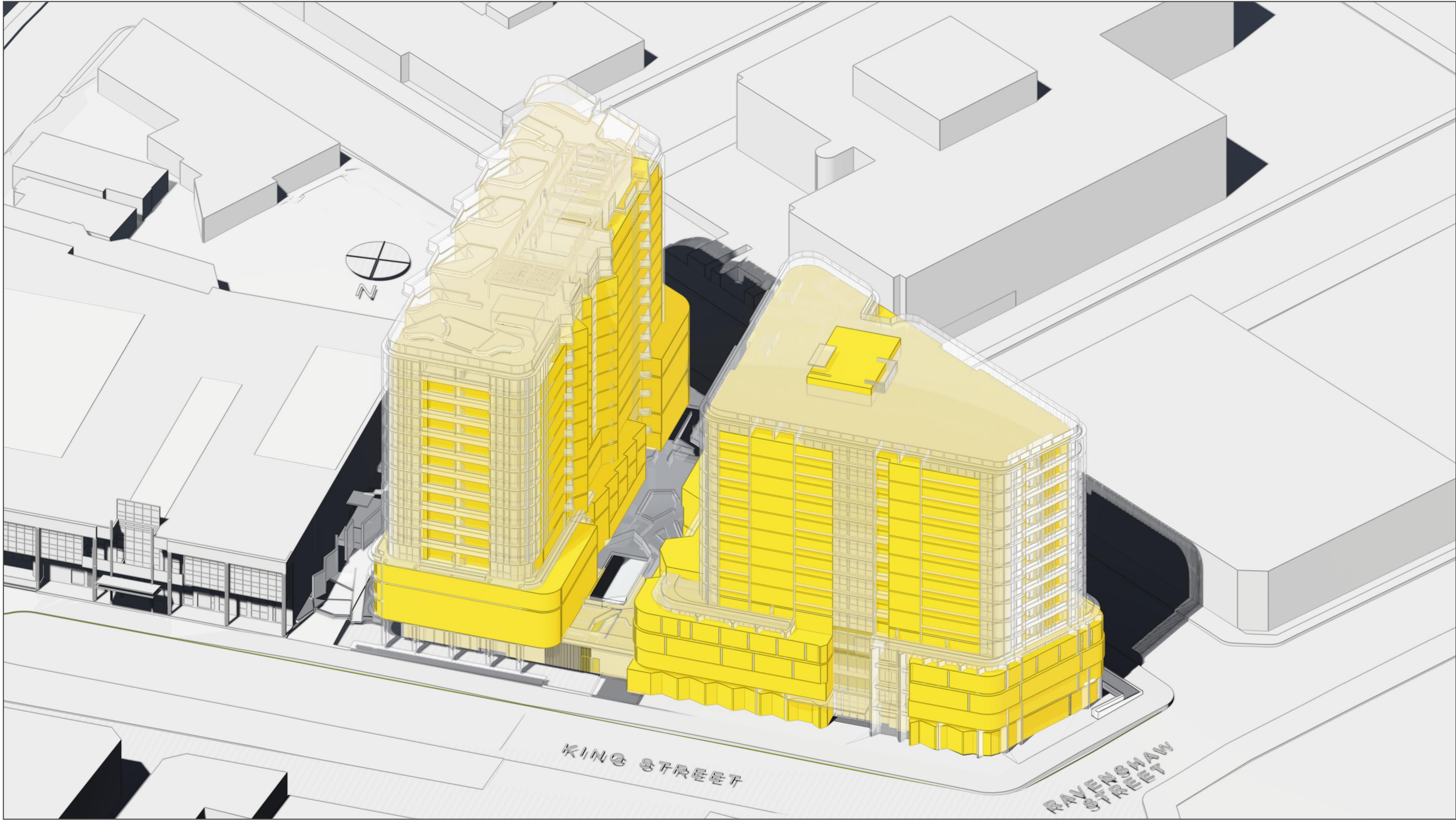
DRAWING TITLE
MASSING COMPARISON 01

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

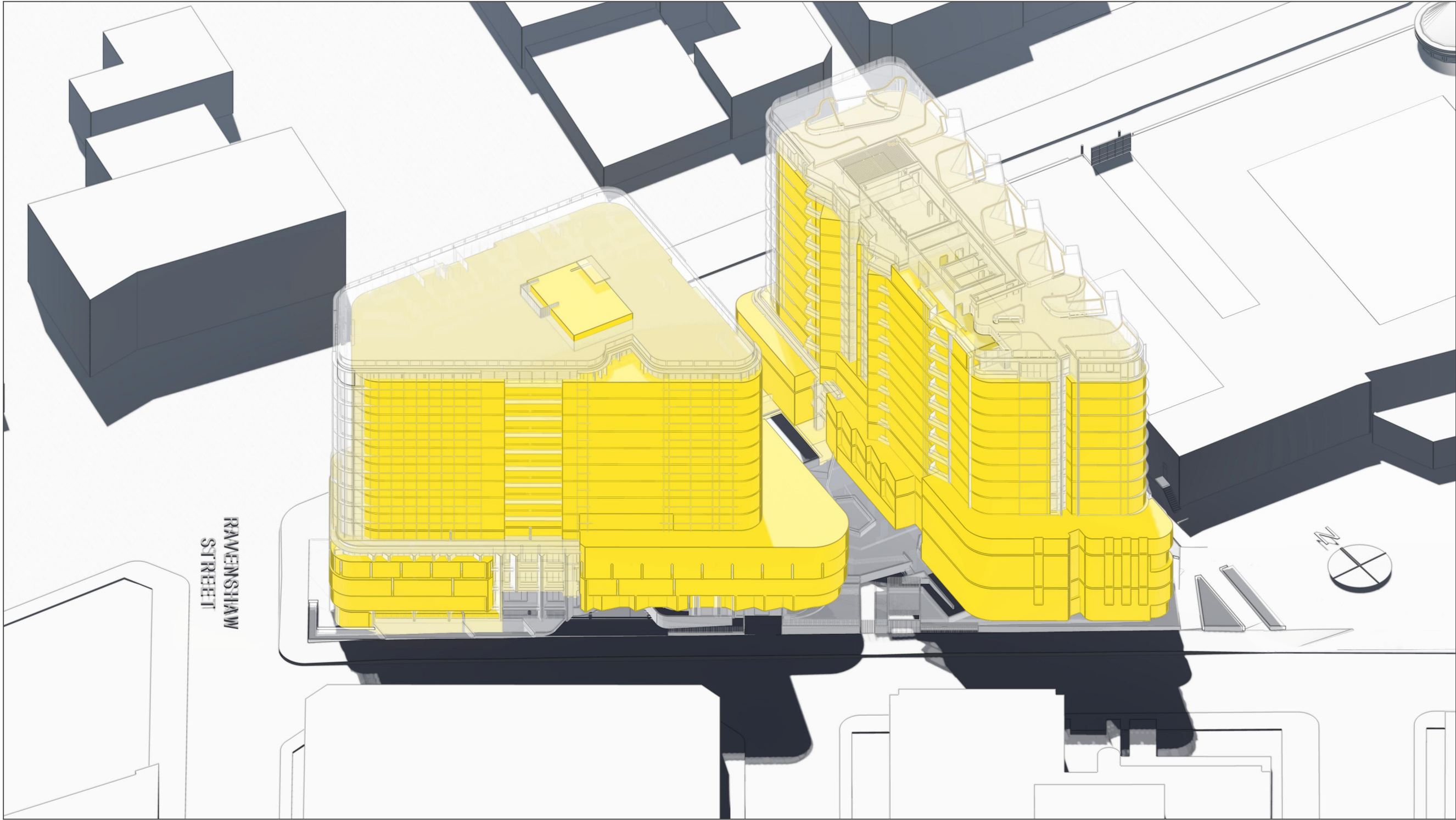
ISSUE PURPOSE
4.55 APPLICATION



REV. 02
DRAWING NO. DA530



LEGEND : ● APPROVED ENVELOPE - DA2019/01169
● PROPOSED ENVELOPE



LEGEND : ● APPROVED ENVELOPE - DA2019/01169
● PROPOSED ENVELOPE



01
-
APPROVED DA BUILDING USES

- LEGEND :
- COMMERCIAL / RETAIL
 - RESIDENTIAL
 - PRIVATE HOSPITAL
 - AGED CARE
 - INDEPENDENT LIVING UNITS
 - SERVICES



02
-
PROPOSED BUILDING USES

<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div></div></div><div></div></div> <div></div>	APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE
TOWER A	401	ILU - 2D	88	45	4.1	6.8	10.9	2HRS	NO	N/A	N/A
TOWER A	402	ILU - 3A	114	89	6.8	4.8	11.6	2HRS	YES	N/A	N/A
TOWER A	403	ILU - 2E	94	33	4.8	7.6	12.4	0HRS	YES	N/A	N/A
TOWER A	404	ILU - 2F	96	32	5.8	3.3	9.1	0HRS	NO	N/A	N/A
TOWER A	405	ILU - 3B	113	37	5.1	5.3	10.4	2HRS	YES	N/A	N/A
TOWER A	406	ILU - 2G	80	19	4.8	6.1	10.9	2HRS	YES	N/A	N/A
TOWER A	407	ILU - 1B	58	18	3	6.1	9.1	2HRS	NO	N/A	N/A
TOWER A	408	ILU - 1A	59	14	3.9	7.9	11.8	2HRS	NO	N/A	N/A
TOWER A	409	ILU - 2A	88	13	4.4	6.4	10.8	2HRS	NO	N/A	N/A
TOWER A	410	ILU - 2B	94	56	4.8	3.3	8.1	2HRS	YES	N/A	N/A
TOWER A	411	ILU - 2C	96	46	6	3.3	9.3	<2HRS	NO	N/A	N/A
TOWER A	501	ILU - 2D	88	10	4.1	3.3	7.4	2HRS	NO	N/A	N/A
TOWER A	502	ILU - 3A	114	12	6.8	3.3	10.1	2HRS	YES	N/A	N/A
TOWER A	503	ILU - 2E	94	14	4.8	3.3	8.1	0HRS	YES	N/A	N/A
TOWER A	504	ILU - 2F	96	15	5.8	3.3	9.1	0HRS	NO	N/A	N/A
TOWER A	505	ILU - 3B	113	13	5.1	3.3	8.4	2HRS	YES	N/A	N/A
TOWER A	506	ILU - 2G	80	10	4.8	3.3	8.1	2HRS	YES	N/A	N/A
TOWER A	507	ILU - 1B	58	10	3	3.3	6.3	2HRS	NO	N/A	N/A
TOWER A	508	ILU - 1A	59	10	3.9	3.3	7.2	2HRS	NO	N/A	N/A
TOWER A	509	ILU - 2A	88	10	4.4	3.3	7.7	2HRS	NO	N/A	N/A
TOWER A	510	ILU - 2B	94	10	4.8	6.2	11.0	2HRS	YES	N/A	N/A
TOWER A	511	ILU - 2C	96	10	6	6.2	12.2	<2HRS	NO	N/A	N/A
TOWER A	601	ILU - 2D	88	10	4.1	6.2	10.3	2HRS	NO	N/A	N/A
TOWER A	602	ILU - 3A	114	12	6.8	14.9	21.7	2HRS	YES	N/A	N/A
TOWER A	603	ILU - 2E	94	14	4.8	15.9	20.7	0HRS	YES	N/A	N/A
TOWER A	604	ILU - 2F	96	15	5.8	17.7	23.5	0HRS	NO	N/A	N/A
TOWER A	605	ILU - 3B	113	13	5.1	17.8	22.9	2HRS	YES	N/A	N/A
TOWER A	606	ILU - 2G	80	10	4.8	19.3	24.1	2HRS	YES	N/A	N/A
TOWER A	607	ILU - 1B	58	10	3	19.8	22.8	2HRS	NO	N/A	N/A
TOWER A	608	ILU - 1A	59	10	3.9	16.9	20.8	2HRS	NO	N/A	N/A
TOWER A	609	ILU - 2A	88	10	4.4	7.6	12.0	2HRS	NO	N/A	N/A
TOWER A	610	ILU - 2B	94	10	4.8	6.2	11.0	2HRS	YES	N/A	N/A
TOWER A	611	ILU - 2C	96	10	6	6.9	12.9	<2HRS	NO	N/A	N/A
TOWER A	701	ILU - 2D	88	10	4.1	16.9	21.0	2HRS	NO	N/A	N/A
TOWER A	702	ILU - 3A	114	12	6.8	15.9	22.7	2HRS	YES	N/A	N/A
TOWER A	703	ILU - 2E	94	14	4.8	16.9	21.7	0HRS	YES	N/A	N/A
TOWER A	704	ILU - 2F	96	15	5.8	18.0	23.8	0HRS	NO	N/A	N/A
TOWER A	705	ILU - 3B	113	13	5.1	8.7	13.8	2HRS	YES	N/A	N/A
TOWER A	706	ILU - 2G	80	10	4.8	9.5	14.3	2HRS	YES	N/A	N/A
TOWER A	707	ILU - 1B	58	10	3	19.3	22.3	2HRS	NO	N/A	N/A
TOWER A	708	ILU - 1A	59	10	3.9	15.9	19.8	2HRS	NO	N/A	N/A

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION
-	TOWER A AND B SCHEMATIC DESIGN	TF 03.03.2023
> 01	SECTION 4.55 APPLICATION SUBMISSION	TF 06.06.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
PM	06.06.2023	PM	17.01.2024	22104	N.T.S.@A3

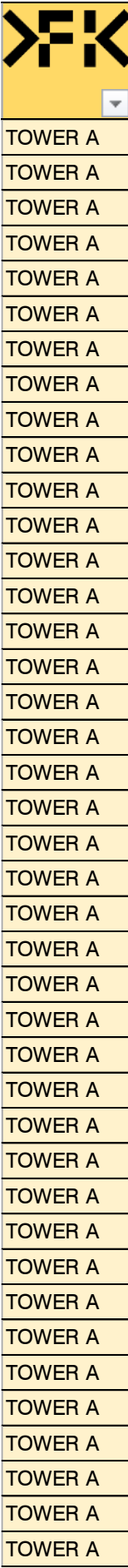
PROJECT
309 King Street Newcastle NSW 2302

DRAWING TITLE
TOWER A DEVELOPMENT SCHEDULE 01

FENDER KATSALEDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
01	DA550

	APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE
TOWER A	709	ILU - 2A	88	10	4.4	16.9	21.3	2HRS	NO	N/A	N/A
TOWER A	710	ILU - 2B	94	10	4.8	16.9	21.7	2HRS	YES	N/A	N/A
TOWER A	711	ILU - 2C	96	10	6	17.9	23.9	<2HRS	NO	N/A	N/A
TOWER A	801	ILU - 2D	88	10	4.1	19.1	23.2	2HRS	NO	N/A	N/A
TOWER A	802	ILU - 3A	114	12	6.8	5.5	12.3	2HRS	YES	N/A	N/A
TOWER A	803	ILU - 2E	94	14	4.8	5.5	10.3	0HRS	YES	N/A	N/A
TOWER A	804	ILU - 2F	96	15	5.8	5.5	11.3	0HRS	NO	N/A	N/A
TOWER A	805	ILU - 3B	113	13	5.1	5.5	10.6	2HRS	YES	N/A	N/A
TOWER A	806	ILU - 2G	80	10	4.8	5.5	10.3	2HRS	YES	N/A	N/A
TOWER A	807	ILU - 1B	58	10	3	5.5	8.5	2HRS	NO	N/A	N/A
TOWER A	808	ILU - 1A	59	10	3.9	6.5	10.4	2HRS	NO	N/A	N/A
TOWER A	809	ILU - 2A	88	10	4.4	3.3	7.7	2HRS	NO	N/A	N/A
TOWER A	810	ILU - 2B	94	10	4.8	6.8	11.6	2HRS	YES	N/A	N/A
TOWER A	811	ILU - 2C	96	10	6	3.3	9.3	<2HRS	NO	N/A	N/A
TOWER A	901	ILU - 2D	88	10	4.1	3.3	7.4	2HRS	NO	N/A	N/A
TOWER A	902	ILU - 3A	114	12	6.8	3.3	10.1	2HRS	YES	N/A	N/A
TOWER A	903	ILU - 2E	94	14	4.8	3.3	8.1	0HRS	YES	N/A	N/A
TOWER A	904	ILU - 2F	96	15	5.8	3.3	9.1	0HRS	NO	N/A	N/A
TOWER A	905	ILU - 3B	113	13	5.1	3.3	8.4	2HRS	YES	N/A	N/A
TOWER A	906	ILU - 2G	80	10	4.8	3.3	8.1	2HRS	YES	N/A	N/A
TOWER A	907	ILU - 1B	58	10	3	7.2	10.2	2HRS	NO	N/A	N/A
TOWER A	908	ILU - 1A	59	10	3.9	3.3	7.2	2HRS	NO	N/A	N/A
TOWER A	909	ILU - 2A	88	10	4.4	6.2	10.6	2HRS	NO	N/A	N/A
TOWER A	910	ILU - 2B	94	10	4.8	6.2	11.0	2HRS	YES	N/A	N/A
TOWER A	911	ILU - 2C	96	10	6	6.2	12.2	<2HRS	NO	N/A	N/A
TOWER A	1001	ILU - 2D	88	10	4.1	6.8	10.9	2HRS	N/A	N/A	N/A
TOWER A	1002	ILU - 3A	114	12	6.8	7.9	14.7	2HRS	N/A	N/A	N/A
TOWER A	1003	ILU - 2E	94	14	4.8	6.1	10.9	0HRS	N/A	N/A	N/A
TOWER A	1004	ILU - 2F	96	15	5.8	6.1	11.9	0HRS	N/A	N/A	N/A
TOWER A	1005	ILU - 3B	113	13	5.1	4.6	9.7	2HRS	N/A	N/A	N/A
TOWER A	1006	ILU - 2G	80	10	4.8	4.6	9.4	2HRS	N/A	N/A	N/A
TOWER A	1007	ILU - 1B	58	10	3	6.9	9.9	2HRS	N/A	N/A	N/A
TOWER A	1008	ILU - 1A	59	10	3.9	15.9	19.8	2HRS	N/A	N/A	N/A
TOWER A	1009	ILU - 2A	88	10	4.4	15.9	20.3	2HRS	N/A	N/A	N/A
TOWER A	1010	ILU - 2B	94	10	4.8	17.7	22.5	2HRS	N/A	N/A	N/A
TOWER A	1011	ILU - 2C	96	10	6	15.9	21.9	<2HRS	N/A	N/A	N/A
TOWER A	1101	ILU - 2D	88	10	4.1	19.3	23.4	2HRS	N/A	N/A	N/A
TOWER A	1102	ILU - 3A	114	12	6.8	19.8	26.6	2HRS	N/A	N/A	N/A
TOWER A	1103	ILU - 2E	94	14	4.8	16.9	21.7	0HRS	N/A	N/A	N/A
TOWER A	1104	ILU - 2F	96	15	5.8	16.9	22.7	0HRS	N/A	N/A	N/A
TOWER A	1105	ILU - 3B	113	13	5.1	15.9	21.0	2HRS	N/A	N/A	N/A

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION	REVISION
- TOWER A AND B SCHEMATIC DESIGN	TF 03.03.2023
> 01 SECTION 4.55 APPLICATION SUBMISSION	TF 06.06.2023

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<input type="checkbox"/>	DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
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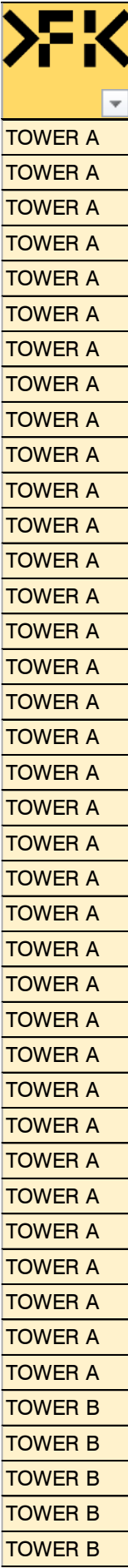
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
PM	06.06.2023	PM	17.01.2024	22104	N.T.S.@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
TOWER A DEVELOPMENT SCHEDULE 02

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
01	DA551

	APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE
TOWER A	1006	ILU - 2G	80	10	4.8	4.6	9.4	2HRS	N/A	N/A	N/A
TOWER A	1007	ILU - 1B	58	10	3	6.9	9.9	2HRS	N/A	N/A	N/A
TOWER A	1008	ILU - 1A	59	10	3.9	15.9	19.8	2HRS	N/A	N/A	N/A
TOWER A	1009	ILU - 2A	88	10	4.4	15.9	20.3	2HRS	N/A	N/A	N/A
TOWER A	1010	ILU - 2B	94	10	4.8	17.7	22.5	2HRS	N/A	N/A	N/A
TOWER A	1011	ILU - 2C	96	10	6	15.9	21.9	<2HRS	N/A	N/A	N/A
TOWER A	1101	ILU - 2D	88	10	4.1	19.3	23.4	2HRS	N/A	N/A	N/A
TOWER A	1102	ILU - 3A	114	12	6.8	19.8	26.6	2HRS	N/A	N/A	N/A
TOWER A	1103	ILU - 2E	94	14	4.8	16.9	21.7	0HRS	N/A	N/A	N/A
TOWER A	1104	ILU - 2F	96	15	5.8	16.9	22.7	0HRS	N/A	N/A	N/A
TOWER A	1105	ILU - 3B	113	13	5.1	15.9	21.0	2HRS	N/A	N/A	N/A
TOWER A	1106	ILU - 2G	80	10	4.8	16.9	21.7	2HRS	N/A	N/A	N/A
TOWER A	1107	ILU - 1B	58	10	3	19.4	22.4	2HRS	N/A	N/A	N/A
TOWER A	1108	ILU - 1A	59	10	3.9	21.6	25.5	2HRS	N/A	N/A	N/A
TOWER A	1109	ILU - 2A	88	10	4.4	15.9	20.3	2HRS	N/A	N/A	N/A
TOWER A	1110	ILU - 2B	94	10	4.8	16.9	21.7	2HRS	N/A	N/A	N/A
TOWER A	1111	ILU - 2C	96	10	6	16.9	22.9	<2HRS	N/A	N/A	N/A
TOWER A	1201	ILU - 2D	88	10	4.1	17.8	21.9	2HRS	N/A	N/A	N/A
TOWER A	1202	ILU - 3A	114	12	6.8	19.1	25.9	2HRS	N/A	N/A	N/A
TOWER A	1203	ILU - 2E	94	14	4.8	5.5	10.3	0HRS	N/A	N/A	N/A
TOWER A	1204	ILU - 2F	96	15	5.8	5.5	11.3	0HRS	N/A	N/A	N/A
TOWER A	1205	ILU - 3B	113	13	5.1	5.5	10.6	2HRS	N/A	N/A	N/A
TOWER A	1206	ILU - 2G	80	10	4.8	5.5	10.3	2HRS	N/A	N/A	N/A
TOWER A	1207	ILU - 1B	58	10	3	5.5	8.5	2HRS	N/A	N/A	N/A
TOWER A	1208	ILU - 1A	59	10	3.9	5.5	9.4	2HRS	N/A	N/A	N/A
TOWER A	1209	ILU - 2A	88	10	4.4	4.8	9.2	2HRS	N/A	N/A	N/A
TOWER A	1210	ILU - 2B	94	10	4.8	3.5	8.3	2HRS	N/A	N/A	N/A
TOWER A	1211	ILU - 2C	96	10	6	4.0	10.0	<2HRS	N/A	N/A	N/A
TOWER A	1301	ILU - 2D	88	10	4.1	4.2	8.3	2HRS	N/A	N/A	N/A
TOWER A	1302	ILU - 3A	114	12	6.8	3.5	10.3	2HRS	N/A	N/A	N/A
TOWER A	1306	ILU - 2G	80	10	4.8	4.8	9.6	2HRS	N/A	N/A	N/A
TOWER A	1307	ILU - 1B	58	10	3	5.3	8.3	2HRS	N/A	N/A	N/A
TOWER A	1308	ILU - 1A	59	10	3.9	3.3	7.2	2HRS	N/A	N/A	N/A
TOWER A	1309	ILU - 2A	88	10	4.4	3.3	7.7	2HRS	N/A	N/A	N/A
TOWER A	1310	ILU - 2B	94	10	4.8	4.8	9.6	2HRS	N/A	N/A	N/A
TOWER A	1311	ILU - 2C	96	10	6	6.8	12.8	<2HRS	N/A	N/A	N/A
TOWER B	101	R - 2F	90	31	4	6.0	10.0	<2HRS	YES	NO	N/A
TOWER B	103	R - 3E	112	41	6.6	13.0	19.6	<2HRS	YES	SILVER	N/A
TOWER B	104	R - 3B	112	37	6.3	6.7	13.0	<2HRS	YES	NO	N/A
TOWER B	105	R - 2A	88	14	4	17.9	21.9	<2HRS	NO	NO	N/A
TOWER B	106	R - 2A	88	14	4	15.1	19.1	<2HRS	NO	NO	N/A

 APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE	
TOWER B	107	R - 2B	89	14	4	6.3	10.3	<2HRS	NO	SILVER	N/A
TOWER B	108	R - 2C	87	14	4	6.5	10.5	<2HRS	NO	NO	N/A
TOWER B	109	R - 3F	104	35	5	8.7	13.7	<2HRS	YES	NO	N/A
TOWER B	110	R - 2E	84	28	4	6.5	10.5	0HRS	YES	NO	N/A
TOWER B	201	R - 2F	88	14	4	10.5	14.5	<2HRS	YES	NO	N/A
TOWER B	202	R - 2D	88	19	4	6.0	10.0	<2HRS	YES	NO	N/A
TOWER B	203	R - 3E	112	36	6.6	3.9	10.5	<2HRS	YES	SILVER	N/A
TOWER B	204	R - 3B	112	34	6.3	3.9	10.2	<2HRS	YES	NO	N/A
TOWER B	205	R - 2A	88	14	4	5.8	9.8	2HRS	NO	NO	N/A
TOWER B	206	R - 2A	88	14	4	6.7	10.7	2HRS	NO	NO	N/A
TOWER B	207	R - 2B	89	14	4	11.3	15.3	2HRS	NO	SILVER	N/A
TOWER B	208	R - 2C	87	14	4	8.9	12.9	2HRS	NO	NO	N/A
TOWER B	209	R - 3F	104	35	5	6.8	11.8	2HRS	YES	NO	N/A
TOWER B	210	R - 2E	84	28	4	6.8	10.8	<2HRS	YES	NO	N/A
TOWER B	211	R - 1A	52	11	4.1	8.9	13.0	0HRS	NO	NO	N/A
TOWER B	301	R - 2F	88	14	4	6.8	10.8	<2HRS	YES	NO	N/A
TOWER B	302	R - 2D	88	19	4	6.3	10.3	<2HRS	YES	NO	N/A
TOWER B	303	R - 3E	112	36	6.6	8.7	15.3	<2HRS	YES	SILVER	N/A
TOWER B	304	R - 3B	112	34	6.3	13.8	20.1	<2HRS	YES	NO	N/A
TOWER B	305	R - 2A	88	14	4	15.2	19.2	2HRS	NO	NO	N/A
TOWER B	306	R - 2B	89	14	4	17.0	21.0	2HRS	NO	SILVER	N/A
TOWER B	307	R - 2B	89	14	4	17.6	21.6	2HRS	NO	SILVER	N/A
TOWER B	308	R - 2C	87	14	4	16.9	20.9	2HRS	NO	NO	N/A
TOWER B	309	R - 3F	104	35	5	10.5	15.5	2HRS	YES	NO	N/A
TOWER B	310	R - 2E	84	28	4	16.9	20.9	<2HRS	YES	NO	N/A
TOWER B	311	R - 1A	52	11	4.1	18.0	22.1	0HRS	NO	NO	N/A
TOWER B	401	R - 2F	88	14	4	6.3	10.3	<2HRS	YES	NO	N/A
TOWER B	402	R - 2D	88	19	4	6.3	10.3	<2HRS	YES	NO	N/A
TOWER B	403	R - 3E	112	38	6.6	8.9	15.5	<2HRS	YES	SILVER	N/A
TOWER B	404	R - 3B	112	35	6.3	8.7	15.0	<2HRS	YES	NO	N/A
TOWER B	405	R - 2A	88	14	4	5.6	9.6	2HRS	NO	NO	N/A
TOWER B	406	R - 2B	89	14	4	16.9	20.9	2HRS	NO	SILVER	N/A
TOWER B	407	R - 2B	89	14	4	15.9	19.9	2HRS	NO	SILVER	N/A
TOWER B	408	R - 2C	87	14	4	16.9	20.9	2HRS	NO	NO	N/A
TOWER B	409	R - 3F	104	35	5	7.8	12.8	2HRS	YES	NO	N/A
TOWER B	410	R - 2E	84	28	4	16.9	20.9	<2HRS	YES	NO	N/A
TOWER B	411	R - 1B	52	11	3.9	15.9	19.8	0HRS	NO	SILVER	N/A
TOWER B	501	R - 2F	88	14	4	10.8	14.8	<2HRS	YES	NO	N/A
TOWER B	502	R - 2D	88	14	4	6.3	10.3	2HRS	YES	NO	N/A
TOWER B	503	R - 3D	112	15	6.6	8.9	15.5	<2HRS	YES	SILVER	N/A
TOWER B	504	R - 3A	112	15	6.5	10.8	17.3	<2HRS	YES	NO	N/A

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	4.55 APPLICATION SUBMISSION	TF	17.05.2023
01	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 02	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
PM	06.06.2023	PM	15.01.2024	22104	N.T.S.@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE
TOWER B DEVELOPMENT SCHEDULE 01

FENDER KATSALEDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
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FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION

REV.

DRAWING NO.

02

DA553

<div><div><div><div></div><div></div><div></div></div></div><div>FK</div></div>	APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE
TOWER B	505	R - 2A	88	14	4	6.3	10.3	2HRS	NO	NO	N/A
TOWER B	506	R - 2A	88	14	4	10.8	14.8	2HRS	NO	NO	N/A
TOWER B	507	R - 2B	89	14	4	7.2	11.2	2HRS	NO	SILVER	N/A
TOWER B	508	R - 2C	87	14	4	7.8	11.8	2HRS	NO	NO	N/A
TOWER B	509	R - 3F	104	14	5	7.8	12.8	2HRS	YES	NO	N/A
TOWER B	510	R - 2E	84	10	4	19.9	23.9	<2HRS	YES	NO	N/A
TOWER B	511	R - 1A	53	11	4.1	19.9	24.0	0HRS	NO	NO	N/A
TOWER B	601	R - 2F	88	14	4	7.8	11.8	<2HRS	YES	NO	N/A
TOWER B	602	R - 2D	88	14	4	8.6	12.6	2HRS	YES	NO	N/A
TOWER B	603	R - 3D	112	15	6.6	15.1	21.7	<2HRS	YES	SILVER	N/A
TOWER B	604	R - 3A	112	15	6.5	8.7	15.2	<2HRS	YES	NO	N/A
TOWER B	605	R - 2A	88	14	4	8.6	12.6	2HRS	NO	NO	N/A
TOWER B	606	R - 2A	88	14	4	8.6	12.6	2HRS	NO	NO	N/A
TOWER B	607	R - 2B	89	14	4	5.5	9.5	2HRS	NO	SILVER	N/A
TOWER B	608	R - 2C	87	14	4	5.5	9.5	2HRS	NO	NO	N/A
TOWER B	609	R - 3F	104	14	5	8.9	13.9	2HRS	YES	NO	N/A
TOWER B	610	R - 2E	84	10	4	5.5	9.5	<2HRS	YES	NO	N/A
TOWER B	611	R - 1A	53	11	4.1	8.4	12.5	0HRS	NO	NO	N/A
TOWER B	701	R - 2F	88	14	4	8.4	12.4	<2HRS	YES	NO	N/A
TOWER B	702	R - 2D	88	14	4	8.4	12.4	2HRS	YES	NO	N/A
TOWER B	703	R - 3D	112	15	6.6	6.8	13.4	<2HRS	YES	SILVER	N/A
TOWER B	704	R - 3A	112	15	6.5	3.9	10.4	<2HRS	YES	NO	N/A
TOWER B	705	R - 2A	88	14	4	8.4	12.4	2HRS	NO	NO	N/A
TOWER B	706	R - 2A	88	14	4	8.4	12.4	2HRS	NO	NO	N/A
TOWER B	707	R - 2B	89	14	4	8.4	12.4	2HRS	NO	SILVER	N/A
TOWER B	708	R - 2C	87	14	4	8.4	12.4	2HRS	NO	NO	N/A
TOWER B	709	R - 3F	104	14	5	6.0	11.0	2HRS	YES	NO	N/A
TOWER B	710	R - 2E	84	10	4	6.9	10.9	<2HRS	YES	NO	N/A
TOWER B	711	R - 1A	53	11	4.1	6.9	11.0	0HRS	NO	NO	N/A
TOWER B	801	R - 2F	88	14	4	5.5	9.5	<2HRS	YES	NO	N/A
TOWER B	802	R - 2D	89	14	4	5.5	9.5	2HRS	YES	NO	N/A
TOWER B	803	R - 3D	112	15	6.6	10.5	17.1	<2HRS	YES	SILVER	N/A
TOWER B	804	R - 3A	112	15	6.5	5.3	11.8	<2HRS	YES	NO	N/A
TOWER B	805	R - 2A	89	14	4	8.6	12.6	2HRS	NO	NO	N/A
TOWER B	806	R - 2B	89	14	4	16.9	20.9	2HRS	NO	SILVER	N/A
TOWER B	807	R - 1C	50	15	3.8	15.9	19.7	<2HRS	NO	NO	N/A
TOWER B	808	R - 3G	123	14	5.1	9.1	14.2	2HRS	NO	NO	N/A
TOWER B	809	R - 3F	104	14	5	6.0	11.0	2HRS	YES	NO	N/A
TOWER B	810	R - 2E	84	10	4	16.9	20.9	<2HRS	YES	NO	N/A
TOWER B	811	R - 1A	53	11	4.1	16.9	21.0	0HRS	NO	NO	N/A
TOWER B	901	R - 2F	88	14	4	15.9	19.9	<2HRS	YES	NO	N/A

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION
-	TOWER A AND B SCHEMATIC DESIGN	TF 03.03.2023
> 01	SECTION 4.55 APPLICATION SUBMISSION	TF 06.06.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
PM	06.06.2023	PM	17.01.2024	22104	N.T.S.@A3

PROJECT

309 King Street
Newcastle NSW 2302

DRAWING TITLE
TOWER B DEVELOPMENT SCHEDULE 02

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TELEPHONE: +61 2 8216 3500
FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032

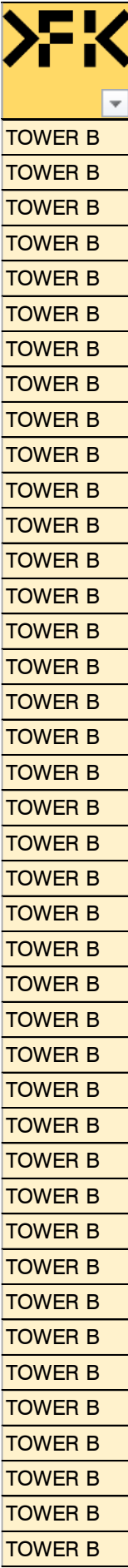
ISSUE PURPOSE
4.55 APPLICATION

REV.

01

DRAWING NO.

DA554

	APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE
TOWER B	902	R - 2D	89	14	4	19.9	23.9	2HRS	YES	NO	N/A
TOWER B	903	R - 3C	112	15	6.7	8.7	15.4	<2HRS	YES	NO	N/A
TOWER B	904	R - 3A	112	15	6.5	13.3	19.8	<2HRS	YES	NO	N/A
TOWER B	905	R - 2A	89	14	4	19.8	23.8	2HRS	NO	NO	N/A
TOWER B	906	R - 2B	89	14	4	15.2	19.2	2HRS	NO	SILVER	N/A
TOWER B	907	R - 1C	50	15	3.8	15.9	19.7	<2HRS	NO	NO	N/A
TOWER B	908	R - 3G	123	14	5.1	8.7	13.8	2HRS	NO	NO	N/A
TOWER B	909	R - 3F	104	14	5	9.1	14.1	2HRS	YES	NO	N/A
TOWER B	910	R - 2E	84	10	4	15.9	19.9	<2HRS	YES	NO	N/A
TOWER B	911	R - 1B	52	11	3.9	15.9	19.8	0HRS	NO	SILVER	N/A
TOWER B	1001	R - 2F	88	14	4	16.9	20.9	<2HRS	N/A	NO	N/A
TOWER B	1002	R - 2D	89	14	4	15.9	19.9	2HRS	N/A	NO	N/A
TOWER B	1003	R - 3C	112	15	6.7	8.9	15.6	<2HRS	N/A	NO	N/A
TOWER B	1004	R - 3A	112	15	6.5	8.7	15.2	<2HRS	N/A	NO	N/A
TOWER B	1005	R - 2A	89	14	4	15.9	19.9	2HRS	N/A	NO	N/A
TOWER B	1006	R - 2B	89	14	4	15.1	19.1	2HRS	N/A	SILVER	N/A
TOWER B	1007	R - 1C	50	15	3.8	5.8	9.6	<2HRS	N/A	NO	N/A
TOWER B	1008	R - 3G	123	14	5.1	10.8	15.9	2HRS	N/A	NO	N/A
TOWER B	1009	R - 3F	104	14	5	6.4	11.4	2HRS	N/A	NO	N/A
TOWER B	1010	R - 2E	84	10	4	10.5	14.5	<2HRS	N/A	NO	N/A
TOWER B	1011	R - 1B	52	11	3.9	5.3	9.2	<2HRS	N/A	SILVER	N/A
TOWER B	1101	R - 2F	88	14	4	3.9	7.9	<2HRS	N/A	NO	N/A
TOWER B	1102	R - 2D	89	14	4	6.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1103	R - 3C	112	15	6.7	4.6	11.3	<2HRS	N/A	NO	N/A
TOWER B	1104	R - 3A	112	15	6.5	7.8	14.3	<2HRS	N/A	NO	N/A
TOWER B	1105	R - 2A	89	14	4	8.6	12.6	2HRS	N/A	NO	N/A
TOWER B	1106	R - 2B	89	14	4	6.8	10.8	2HRS	N/A	SILVER	N/A
TOWER B	1107	R - 1C	50	15	3.8	6.8	10.6	<2HRS	N/A	NO	N/A
TOWER B	1108	R - 3G	123	14	5.1	8.9	14.0	2HRS	N/A	NO	N/A
TOWER B	1109	R - 3F	104	14	5	10.0	15.0	2HRS	N/A	NO	N/A
TOWER B	1110	R - 2E	84	10	4	5.8	9.8	<2HRS	N/A	NO	N/A
TOWER B	1111	R - 1A	52	11	4.1	5.8	9.9	<2HRS	N/A	NO	N/A
TOWER B	1201	R - 2F	88	14	4	6.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1202	R - 2D	89	14	4	6.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1203	R - 3C	112	15	6.7	8.6	15.3	<2HRS	N/A	NO	N/A
TOWER B	1204	R - 3A	112	15	6.5	7.8	14.3	<2HRS	N/A	NO	N/A
TOWER B	1205	R - 2A	89	14	4	6.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1206	R - 2A	89	14	4	6.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1207	R - 1C	50	15	3.8	6.5	10.3	<2HRS	N/A	NO	N/A
TOWER B	1208	R - 3G	123	14	5.1	7.8	12.9	2HRS	N/A	NO	N/A
TOWER B	1209	R - 3F	104	14	5	7.8	12.8	2HRS	N/A	NO	N/A

BIMcloud: kaspdrbim01 - BIMcloud/22104 309 King Street Newcastle (GWH)/00 BIM MODELS/SD TP-DA/CENTRAL MODELS/22104 General Concept

REVISION		REVISION	
-	TOWER A AND B SCHEMATIC DESIGN	TF	03.03.2023
> 01	SECTION 4.55 APPLICATION SUBMISSION	TF	06.06.2023

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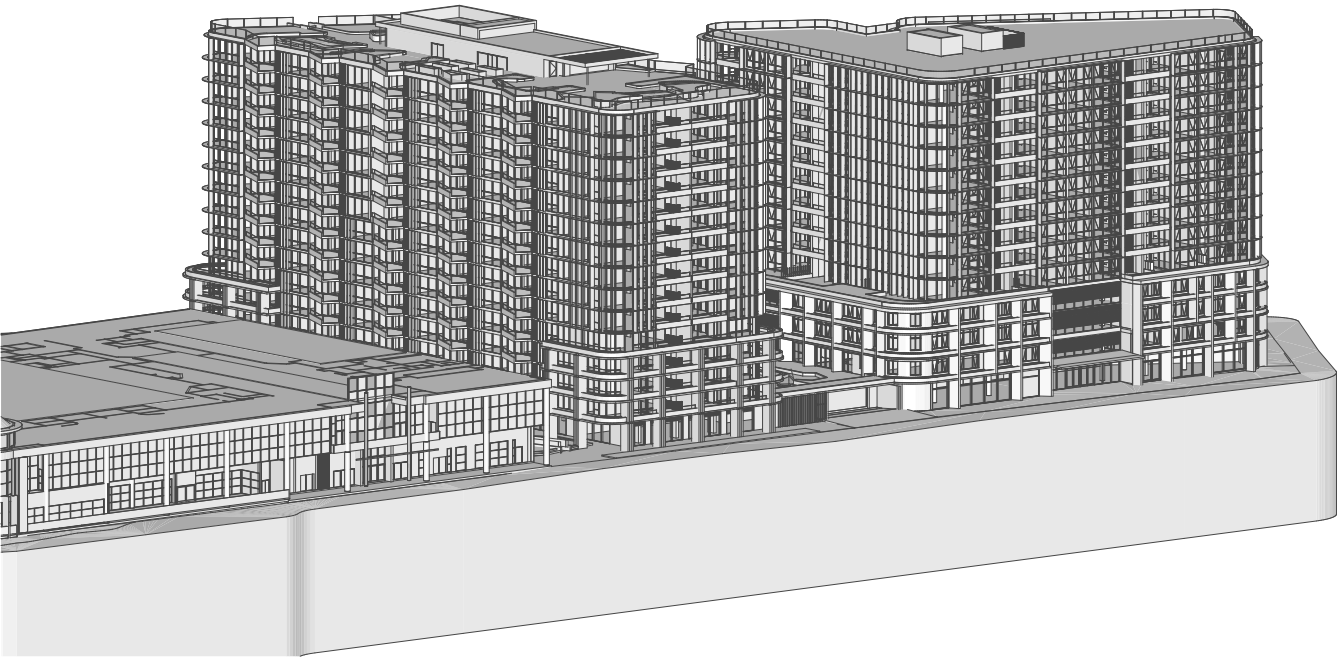
DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
PM	06.06.2023	PM	17.01.2024	22104	N.T.S.@A3

PROJECT
309 King Street Newcastle NSW 2302
DRAWING TITLE
TOWER B DEVELOPMENT SCHEDULE 03

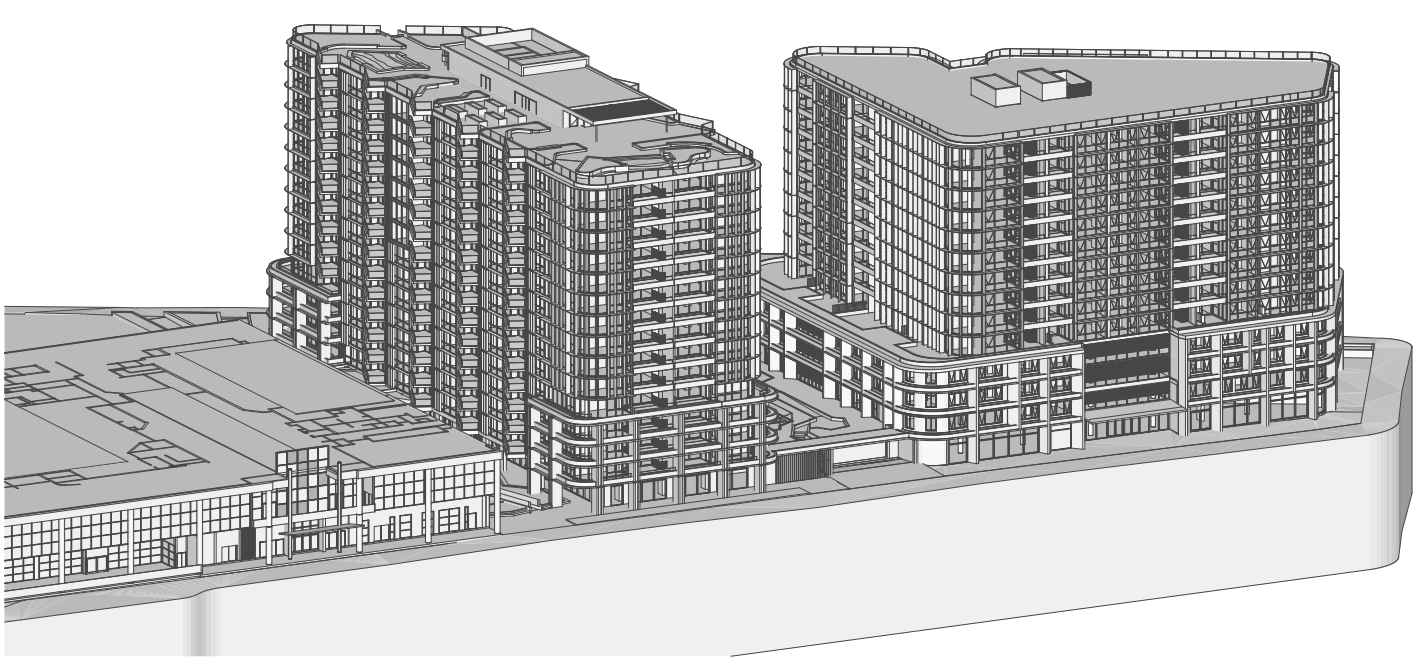
FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032
ISSUE PURPOSE
4.55 APPLICATION

REV.	DRAWING NO.
01	DA555

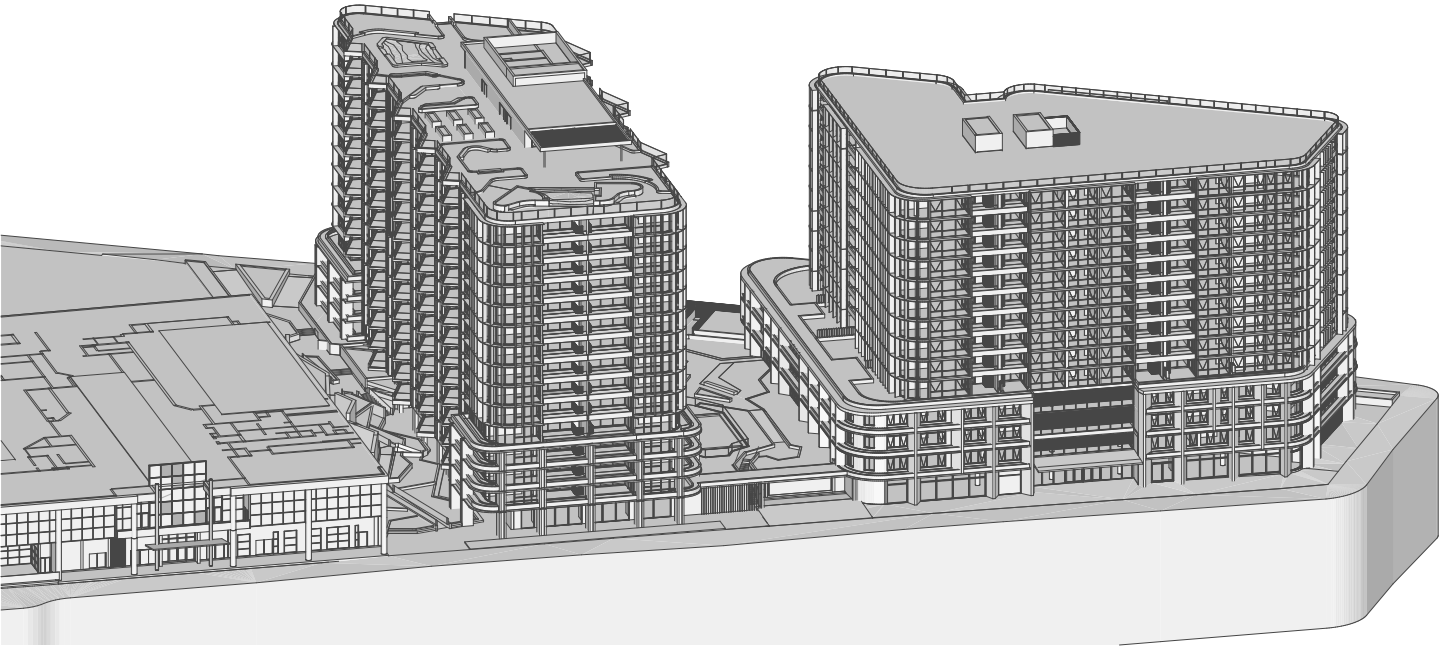
	APARTMENT NUMBER	APARTMENT TYPE	APARTMENT M ²	BALCONY M ²	INTERNAL STORAGE M ³	EXTERNAL STORAGE M ³	TOTAL STORAGE M ³	SOLAR	VENTILATION	LIVABLE	ADAPTABLE
TOWER B	1210	R - 2E	84	10	4	6.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1211	R - 1A	52	11	4.1	6.4	10.5	<2HRS	N/A	NO	N/A
TOWER B	1301	R - 2F	88	14	4	10.8	14.8	2HRS	N/A	NO	N/A
TOWER B	1302	R - 2D	89	14	4	7.8	11.8	2HRS	N/A	NO	N/A
TOWER B	1303	R - 3C	112	15	6.7	7.8	14.5	<2HRS	N/A	NO	N/A
TOWER B	1304	R - 3A	112	15	6.5	7.8	14.3	<2HRS	N/A	NO	N/A
TOWER B	1305	R - 2A	89	14	4	8.7	12.7	2HRS	N/A	NO	N/A
TOWER B	1306	R - 2A	89	14	4	7.8	11.8	2HRS	N/A	NO	N/A
TOWER B	1307	R - 1C	50	15	3.8	5.6	9.4	<2HRS	N/A	NO	N/A
TOWER B	1308	R - 3G	123	14	5.1	7.5	12.6	2HRS	N/A	NO	N/A
TOWER B	1309	R - 3F	104	14	5	7.5	12.5	2HRS	N/A	NO	N/A
TOWER B	1310	R - 2E	84	10	4	4.7	8.7	2HRS	N/A	NO	N/A
TOWER B	1311	R - 1A	52	11	4.1	5.6	9.7	<2HRS	N/A	NO	N/A
TOWER B	1401	R - 2F	88	14	4	5.8	9.8	2HRS	N/A	NO	N/A
TOWER B	1402	R - 2D	89	14	4	5.8	9.8	2HRS	N/A	NO	N/A
TOWER B	1403	R - 3C	112	15	6.7	7.8	14.5	<2HRS	N/A	NO	N/A
TOWER B	1404	R - 3A	112	15	6.5	4.8	11.3	<2HRS	N/A	NO	N/A
TOWER B	1405	R - 2A	89	14	4	5.8	9.8	2HRS	N/A	NO	N/A
TOWER B	1406	R - 2A	89	14	4	5.8	9.8	2HRS	N/A	NO	N/A
TOWER B	1407	R - 1C	50	15	3.8	4.8	8.6	<2HRS	N/A	NO	N/A
TOWER B	1408	R - 3G	123	14	5.1	7.0	12.1	2HRS	N/A	NO	N/A
TOWER B	1409	R - 3F	104	14	5	5.5	10.5	2HRS	N/A	NO	N/A
TOWER B	1410	R - 2E	84	10	4	5.5	9.5	2HRS	N/A	NO	N/A
TOWER B	1411	R - 1A	52	11	4.1	7.8	11.9	<2HRS	N/A	NO	N/A



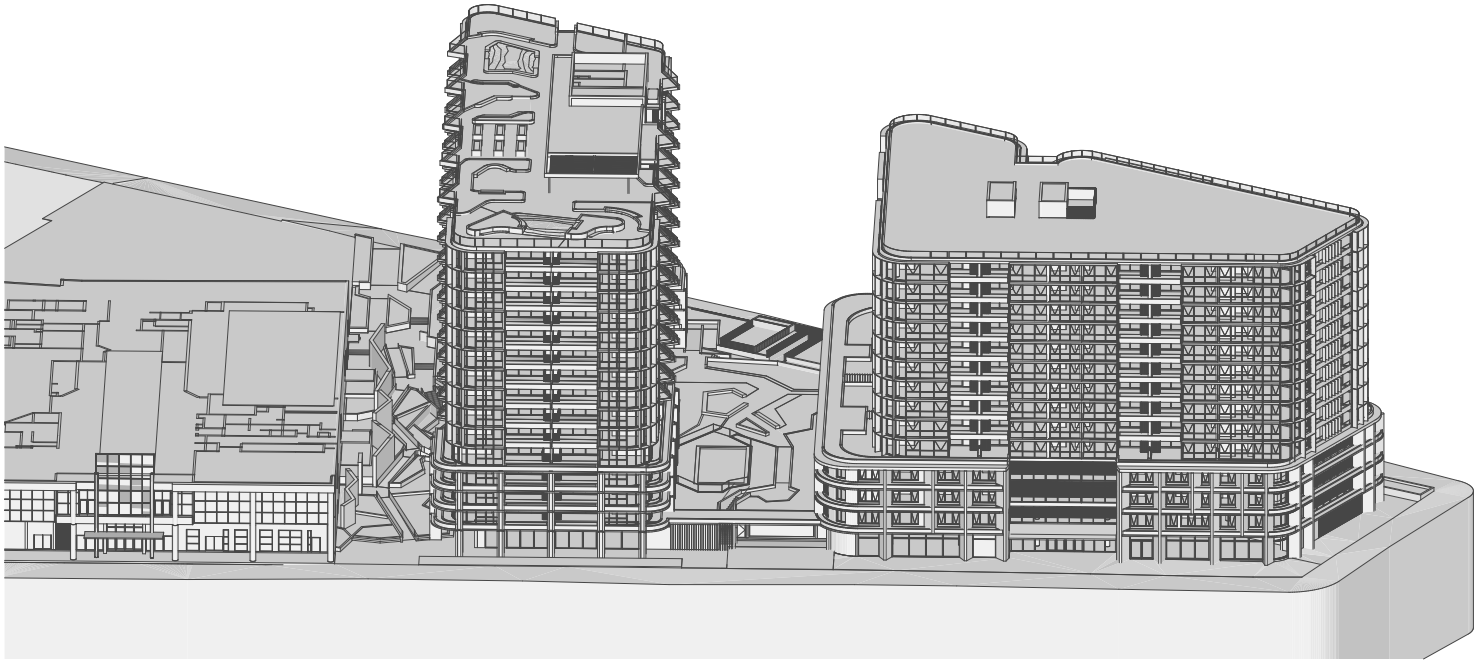
9AM - WINTER SOLSTICE



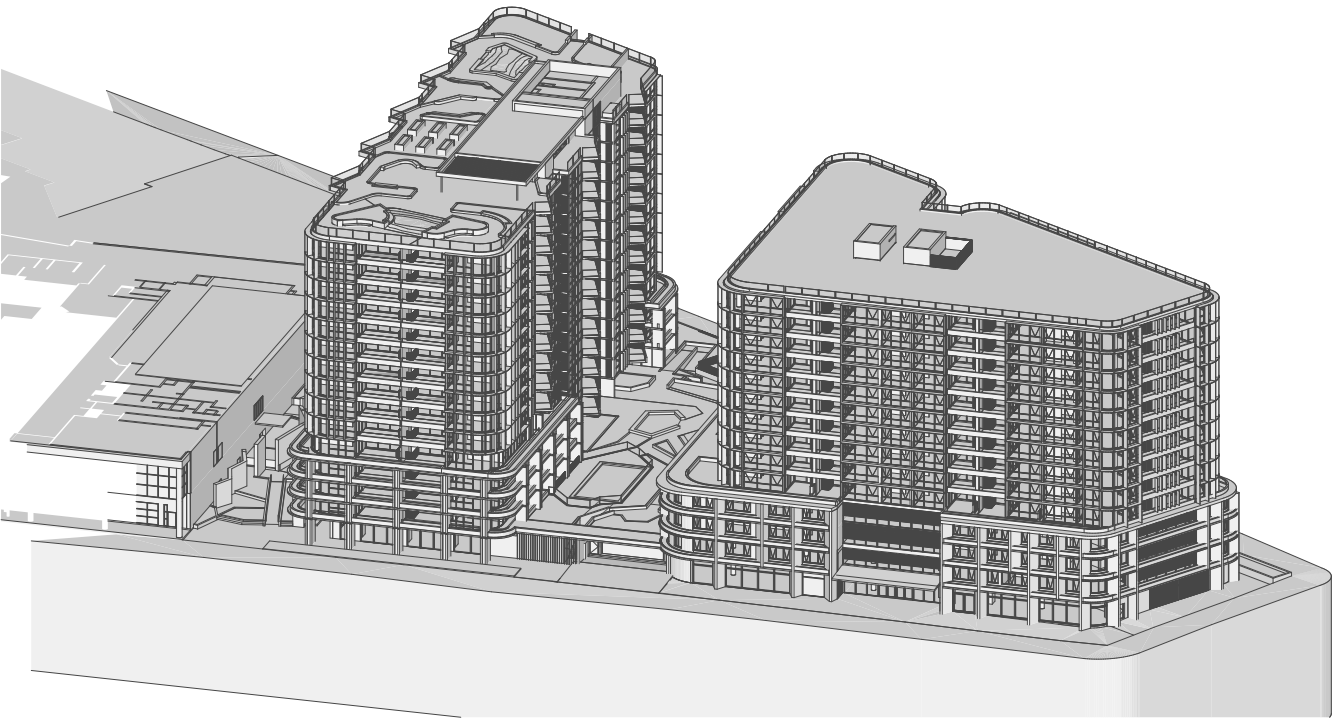
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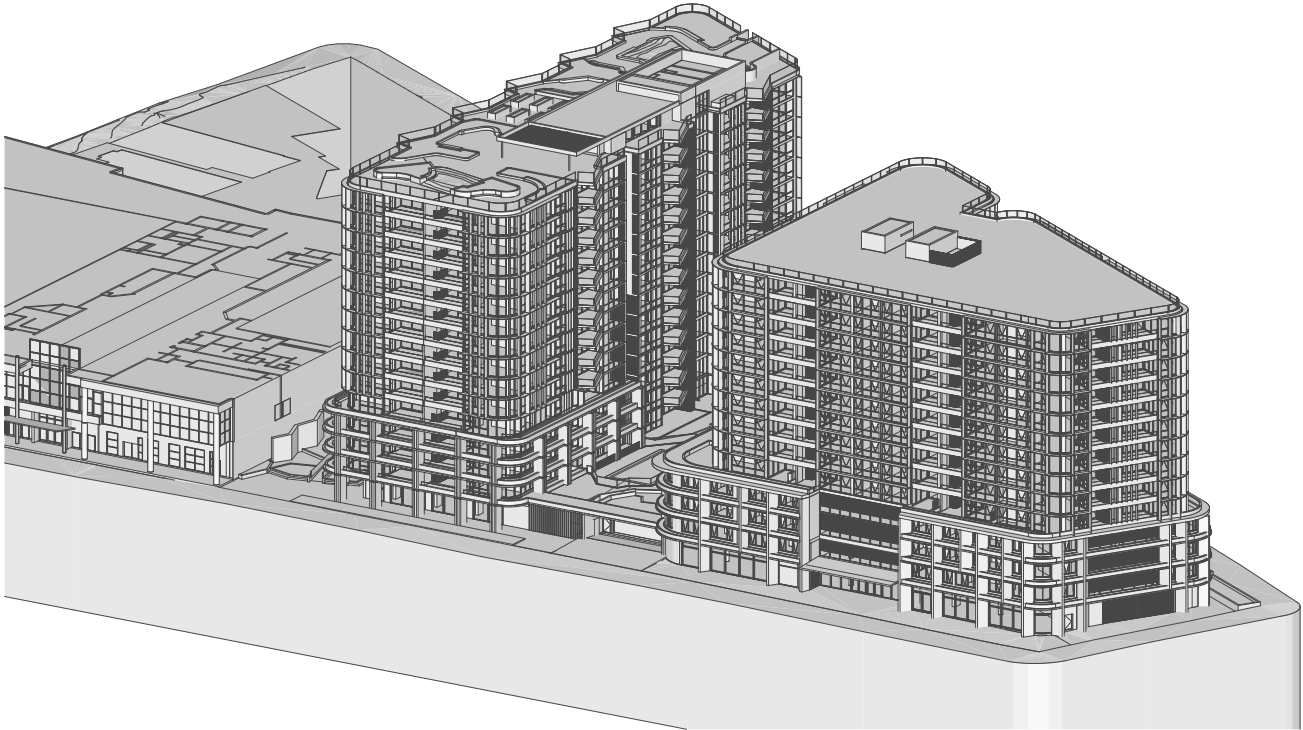
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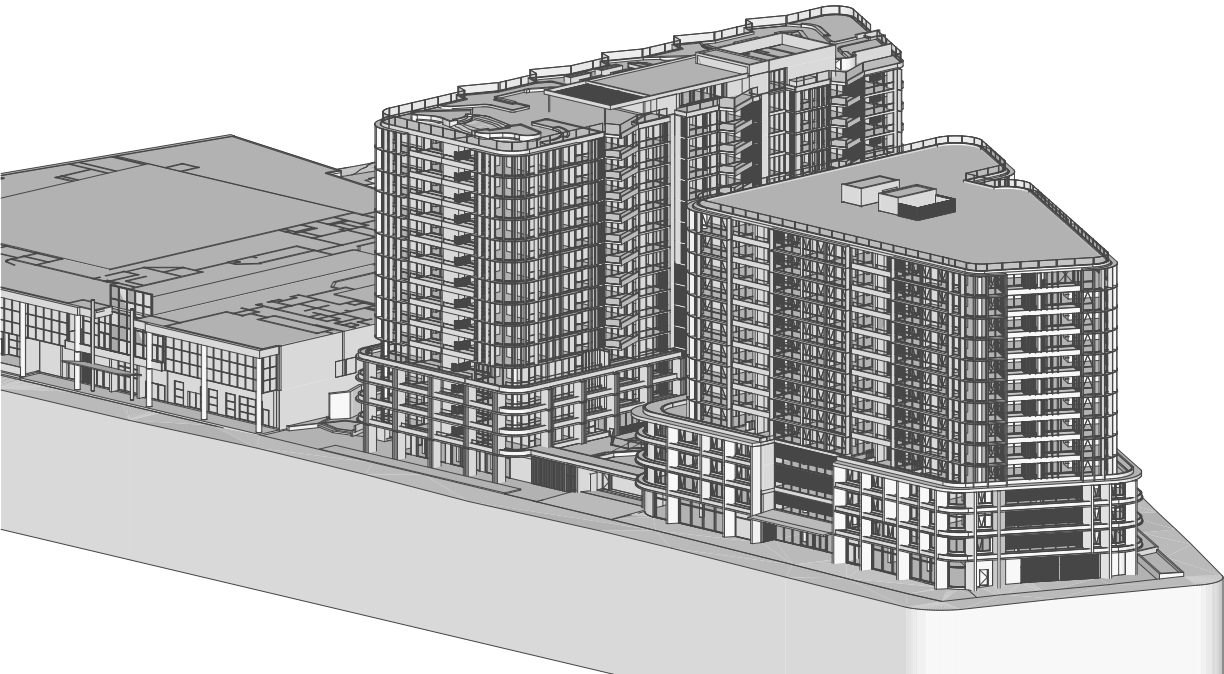
12PM - WINTER SOLSTICE



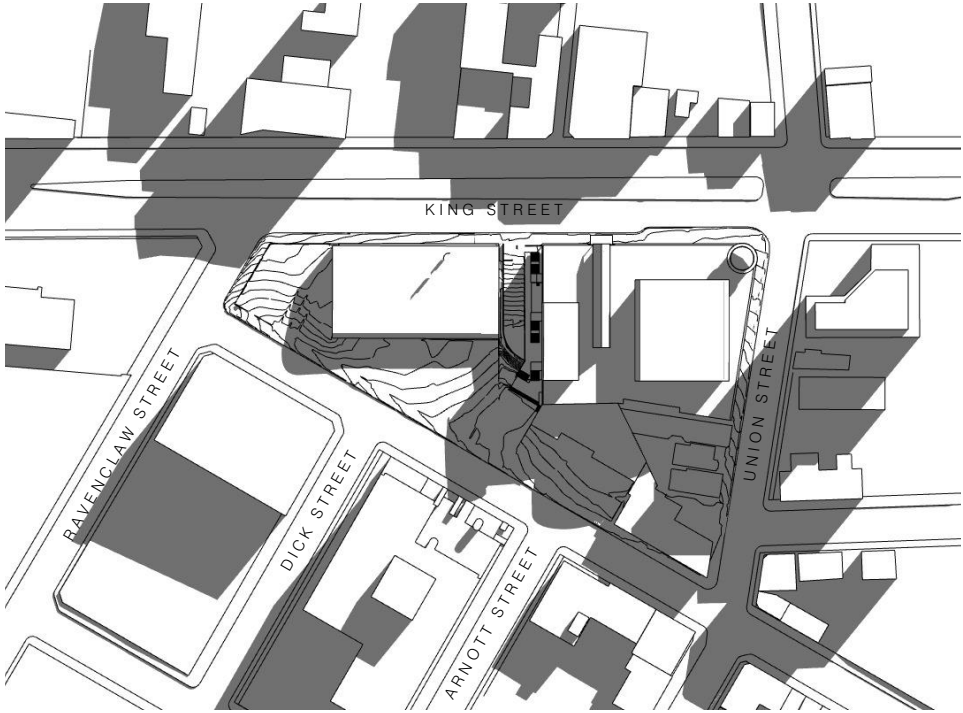
1PM - WINTER SOLSTICE



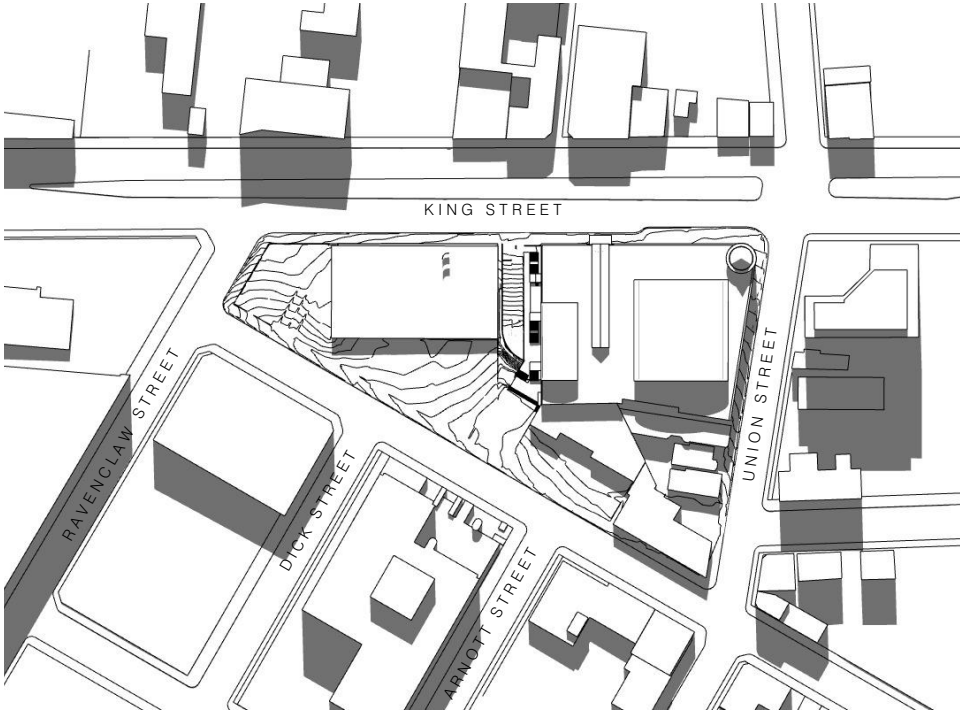
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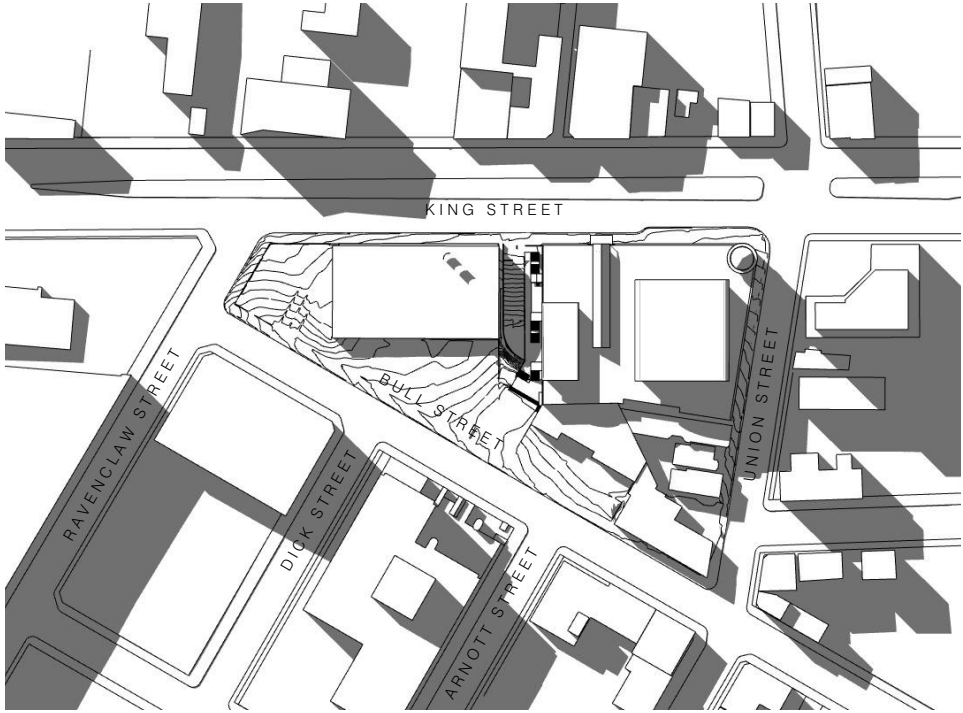
3PM - WINTER SOLSTICE



EXISTING 9am - JUNE 21



EXISTING 12pm - JUNE 21



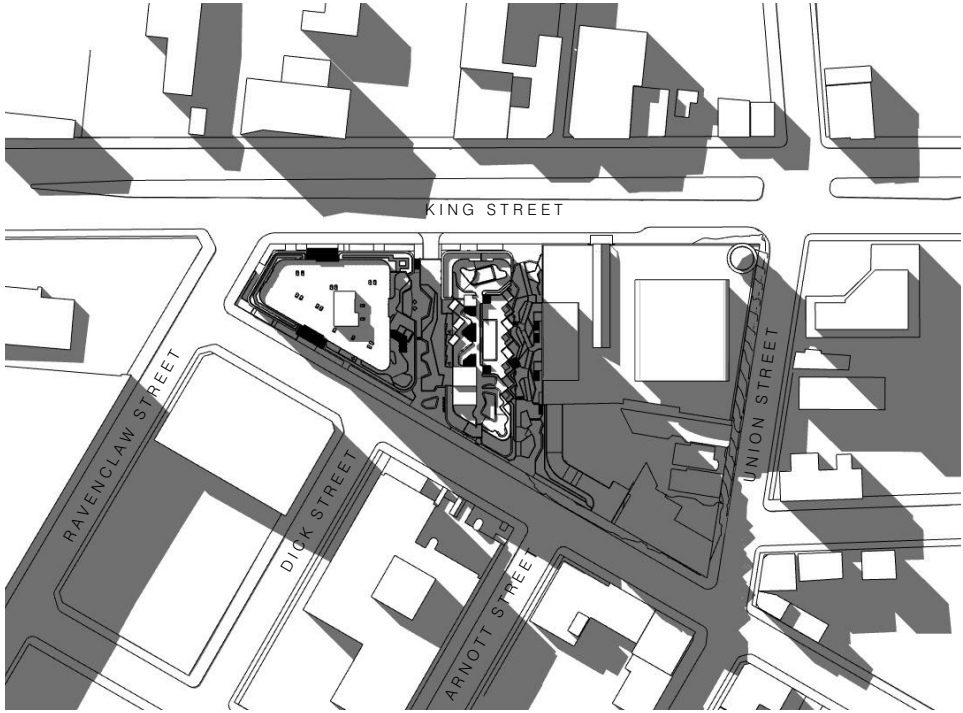
EXISTING 3pm - JUNE 21



APPROVED DA 9am - JUNE 21



APPROVED DA 12pm - JUNE 21



APPROVED DA 3pm - JUNE 21

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REVISION	TA	30.11.2023	REVISION
-	4.55 APPLICATION		

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
TA	30.11.2023	TF	30.11.2023	22104	N.T.S.@A3

PROJECT
309 King Street
Newcastle NSW 2302

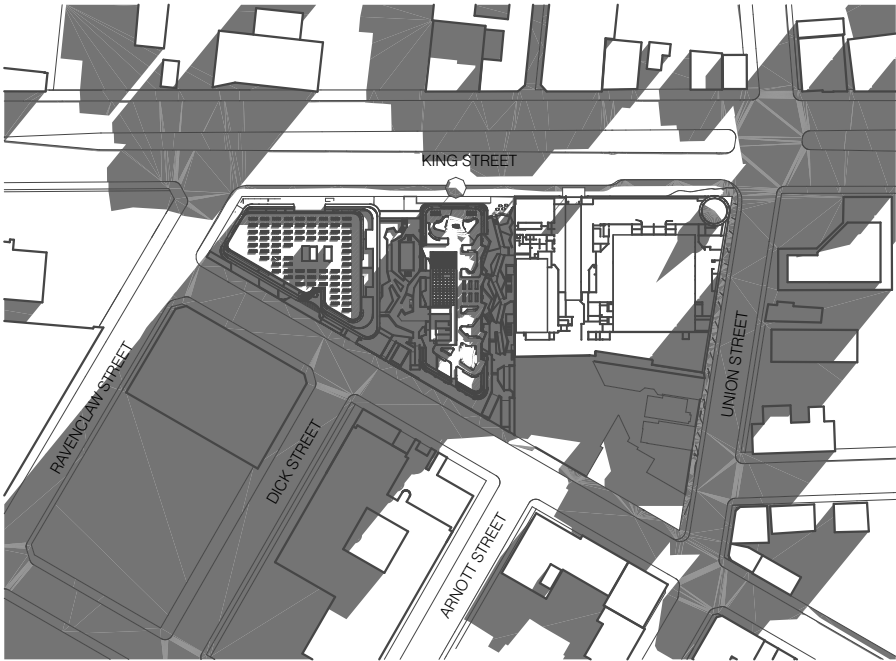
DRAWING TITLE
SHADOW DIAGRAMS - SHEET 01

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
L21, 259 GEORGE STREET, SYDNEY
NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

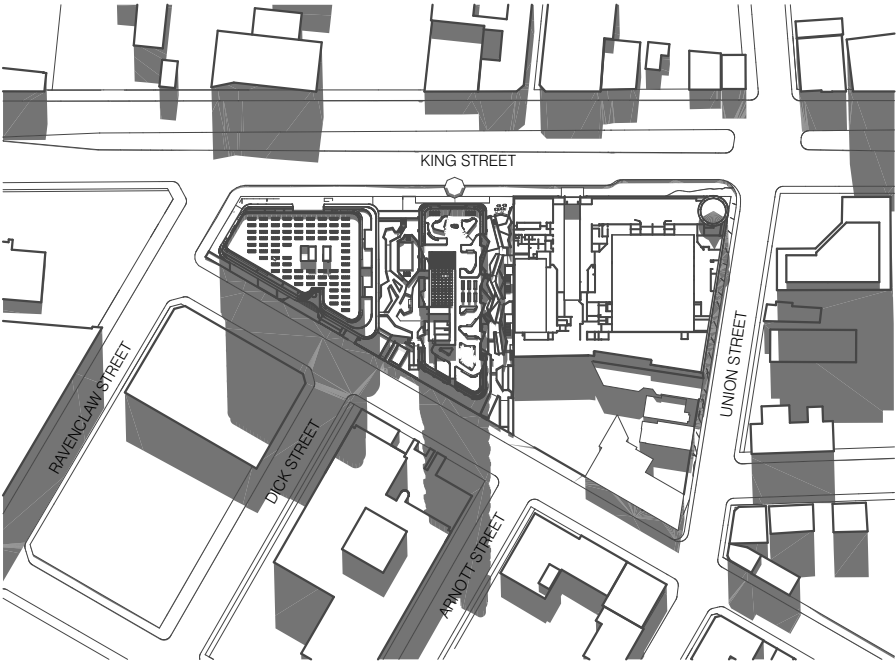
ISSUE PURPOSE
4.55 APPLICATION



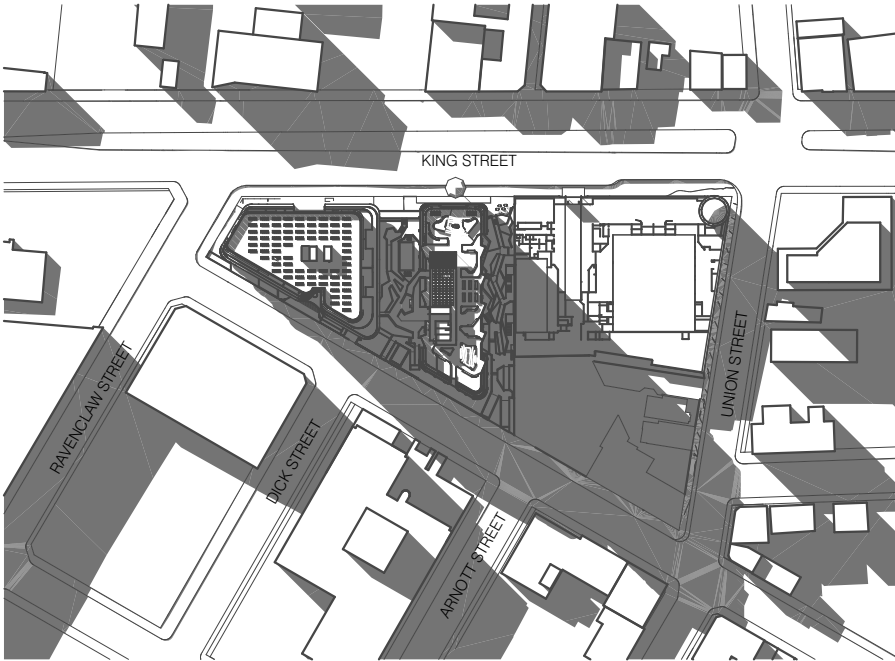
REV. - **DRAWING NO.**
DA560



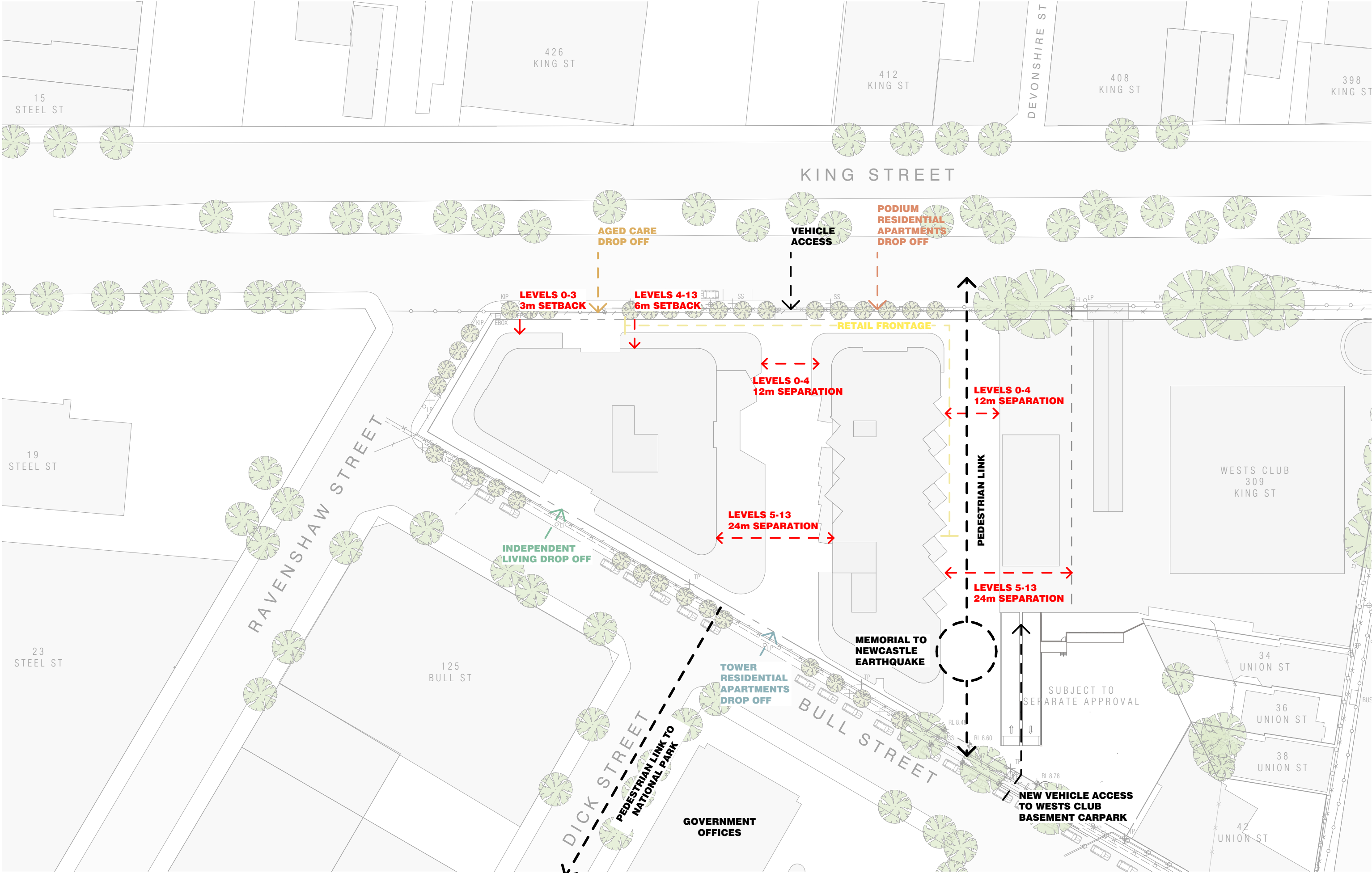
PROPOSED 9am - JUNE 21




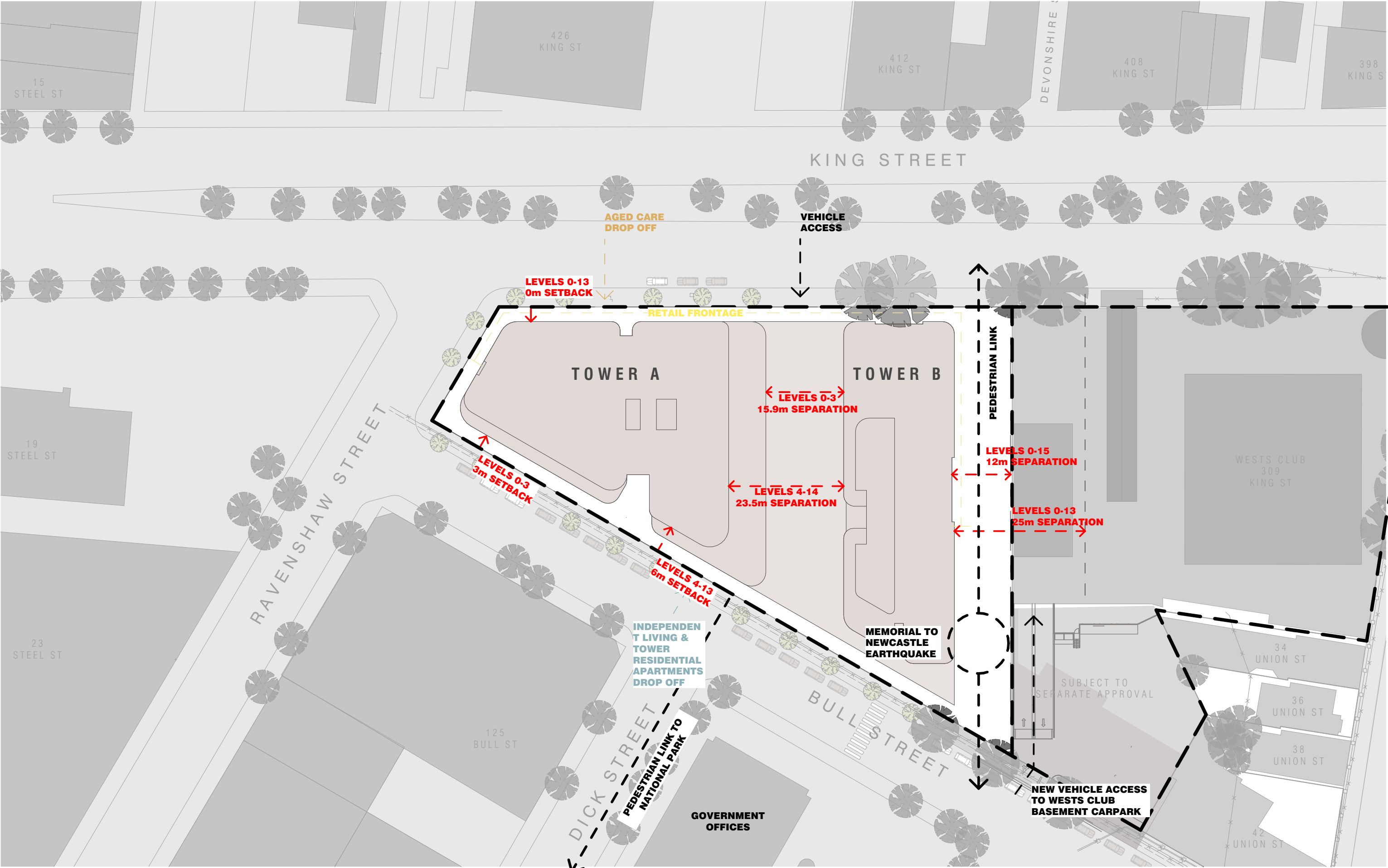
PROPOSED 12pm - JUNE 21



PROPOSED 3pm - JUNE 21



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REVISION				REVISION		QUALITY ASSURANCE		(FK IS A CERTIFIED COMPANY TO ISO 9001:2015)	
- 4.55 APPLICATION		TA 30.11.2023				THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM		NOTES	
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						<input type="checkbox"/> DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.		CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ	
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						<input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.		DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.	
								PROJECT	
								309 King Street	
								Newcastle NSW 2302	
								FENDER KATSALEDIS	
								WWW.FKAUSTRALIA.COM	
								L21, 259 GEORGE STREET, SYDNEY	
								NEW SOUTH WALES 2000 AUSTRALIA	
								TELEPHONE: +61 2 8216 3560	
								FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032	
									



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REVISION	TA	30.11.2023
4.55 APPLICATION		

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
TA	30.11.2023	TF	30.11.2023	22104	N.T.S.@A3

PROJECT
309 King Street
Newcastle NSW 2302

DRAWING TITLE
BUILDING SEPARATION DIAGRAMS - PROPOSED

FENDER KATSAIDIS
WWW.FKAUSTRALIA.COM
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NEW SOUTH WALES 2000 AUSTRALIA
TELEPHONE: +61 2 8216 3500
FENDER KATSAIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
4.55 APPLICATION



REV.
-

DRAWING NO.
DA571

309 KING STREET NEWCASTLE

LANDSCAPE ARCHITECTURE
DEVELOPMENT APPLICATION
SEC 4.55

19 January 2024

OCULUS



309 KING STREET NEWCASTLE
LANDSCAPE DEVELOPMENT APPLICATION

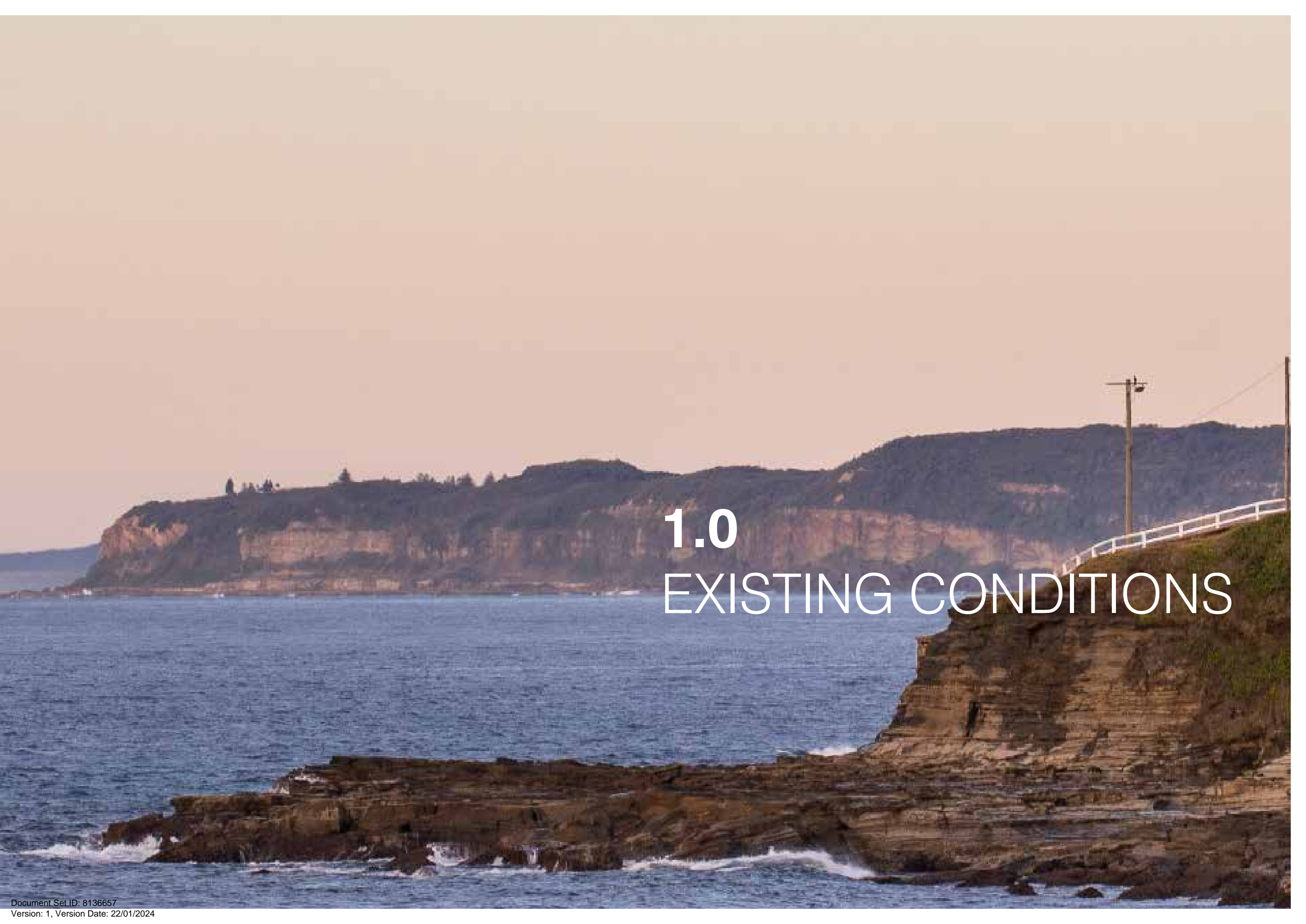
Project Number: S18-011
Project Address: 309 KING STREET, NEWCASTLE

Revision	Issue	Date	By	Checked
A	FOR APPROVAL	05.04.2019	AS	TM
B	FOR APPROVAL	08.04.2019	AS	TM
C	FOR APPROVAL	18.02.2021	AS	TM
D	FOR APPROVAL	09.06.2023	EM	MW
E	FOR APPROVAL	19.01.2024	GH	MW

O C U L U S
Landscape Architecture
Urban Design
Environmental Planning
Level 1, 5 Wilson Street, Newtown NSW
p. 02 9557 5533
e. australia@oculus.info

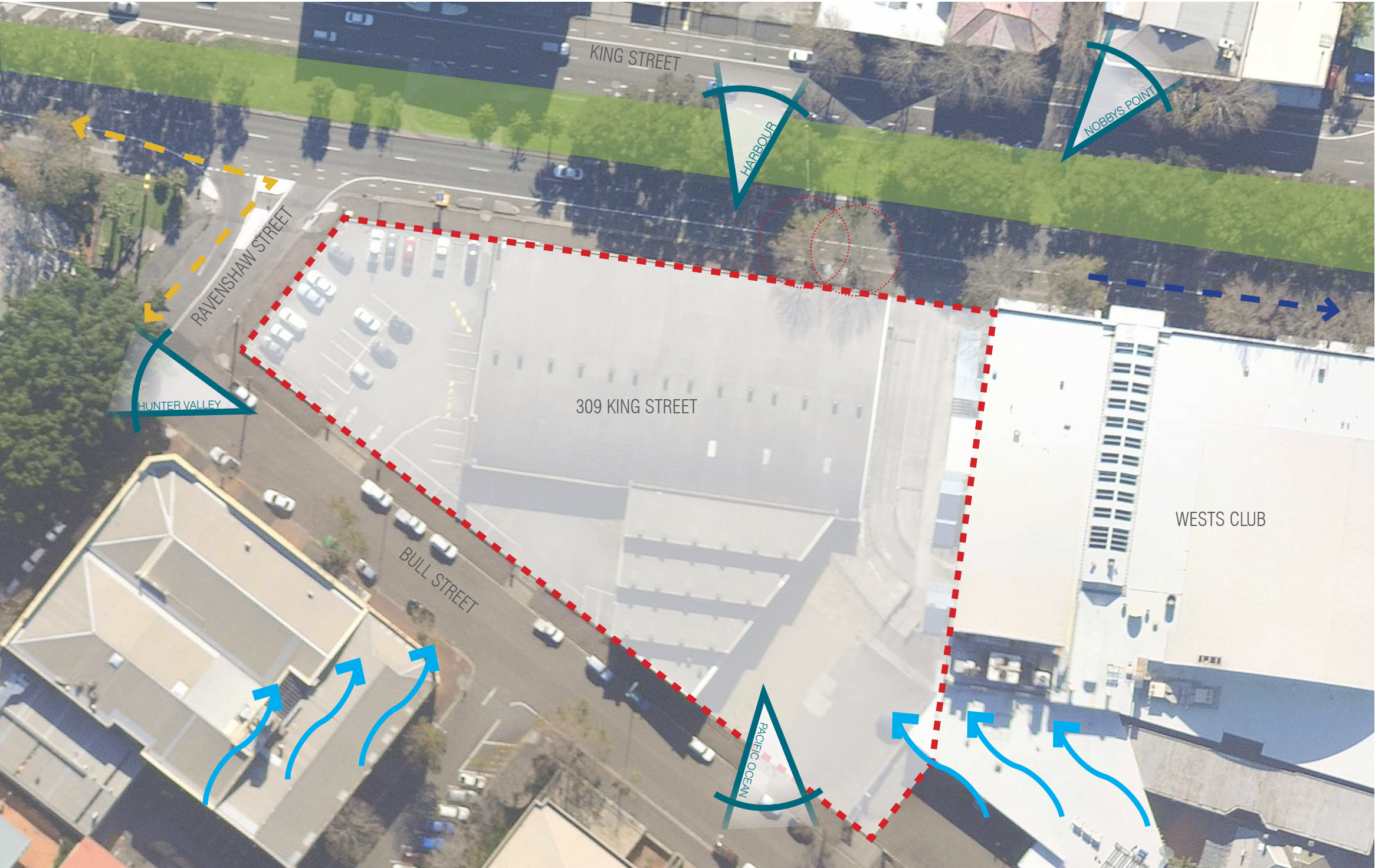
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1.0 EXISTING CONDITIONS

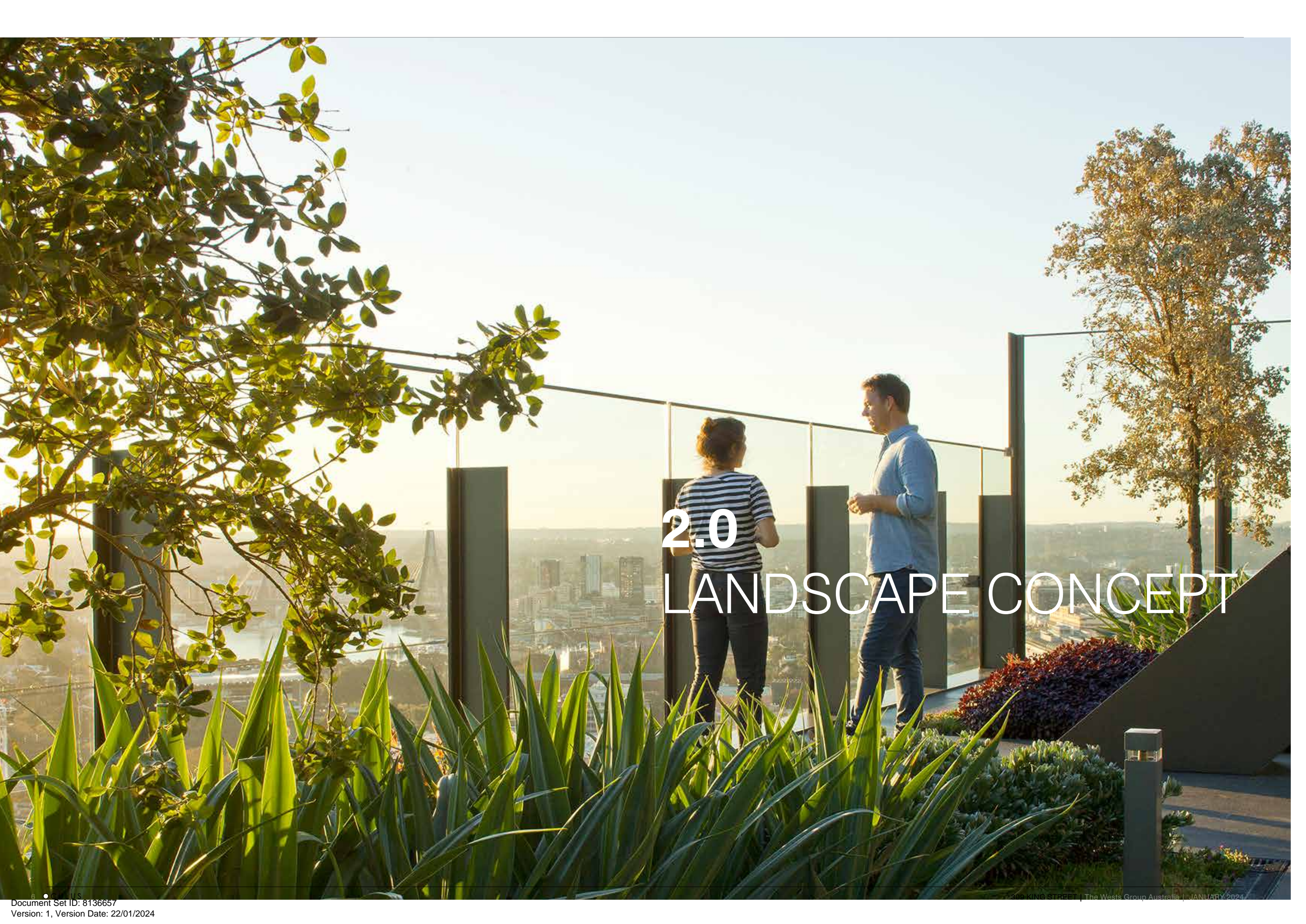
1.1 SITE PLAN



LEGEND

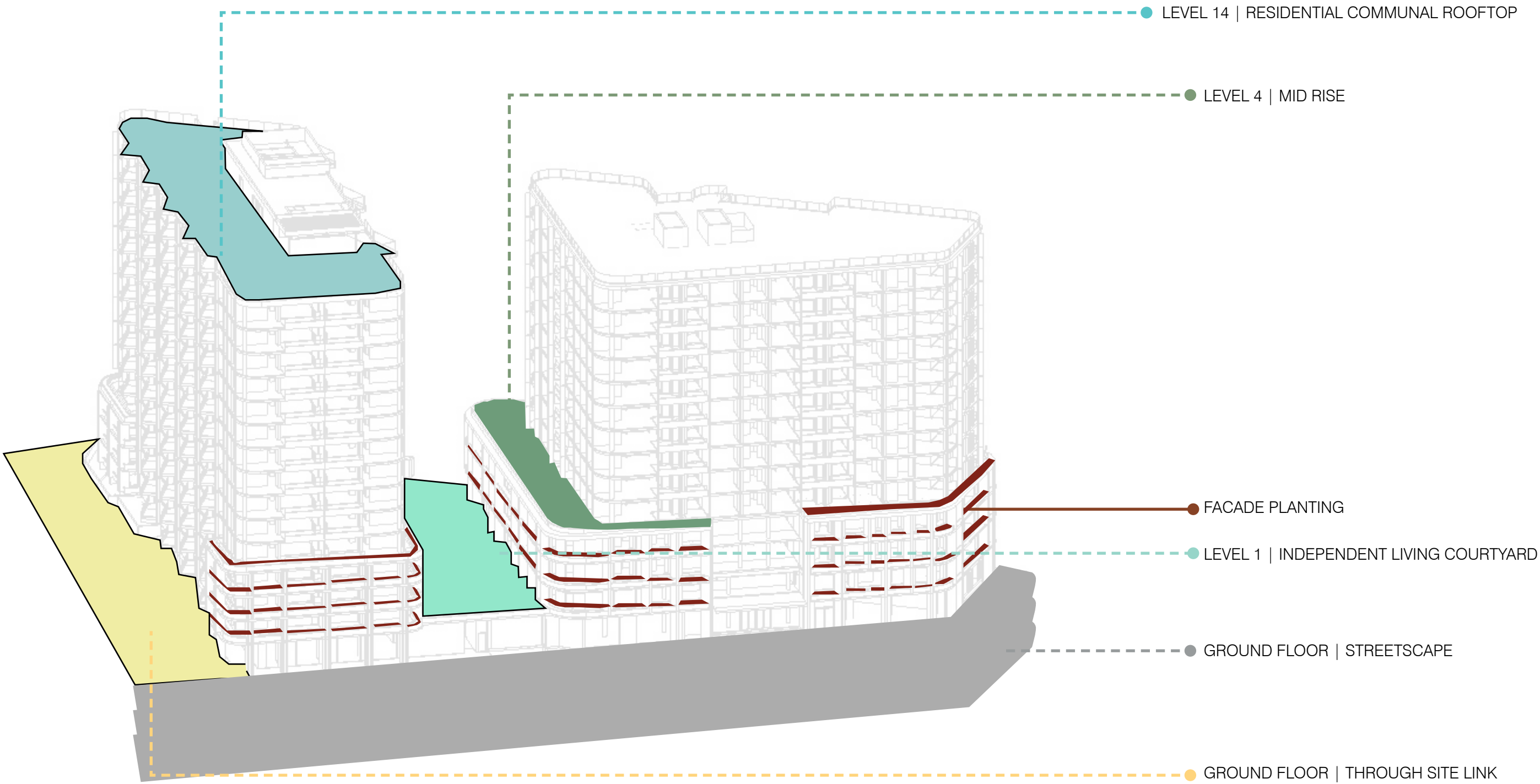
- ■ ■ Subject site
- Broad-leaf Paperbark and Phoenix Palms along King Street median offer green amenity
- Existing London Planes trees to be removed. Opportunity for additional street tree planting in line with City of Newcastle Urban Forest Strategy
- ➡ Connectivity to existing and future civic precinct
- ➡ Connection to Marketown Shopping centre
- △ Key view opportunities
- ➡ Prevailing winds





2.0 LANDSCAPE CONCEPT

2.1 LANDSCAPE SPACES



2.2 DESIGN PRINCIPALS

STREETSCAPE	<ul style="list-style-type: none">• HIGH QUALITY HARDSCAPE• SIMPLE ROBUST URBAN MATERIALS• STREET TREES• PLANTED EDGES• OPEN CIRCULATION• SIMPLE STREET FURNITURE			
	<ul style="list-style-type: none">• CIVIC SPACE• PUBLIC SEATING OPPORTUNITIES• GREEN EDGES• SHADE AND SHELTER• SAFETY• CLEAR VISUAL CONNECTIONS• EQUATABLE ACCESS			
	<ul style="list-style-type: none">• SPACES FOR SANCTUARY• CONNECTION TO NATURE• VIEWS TO THE COAST AND CITY• SPACES FOR ENTERTAINING• COMMUNAL GATHERING SPACES• LUXURY			
	<ul style="list-style-type: none">• RELAXATION• SOCIALISING / ENTERTAINING SPACES• COMMUNAL GATHERING SPACES• PEACE AND QUIET			
FACADE PLANTING	<ul style="list-style-type: none">• GREEN OUTLOOK• BIOPHILIA PRINCIPLES• GREEN EDGES• SIMPLE AND SAFE BALCONIES			

2.3 GROUND FLOOR | GREEN SETBACK AND STREETSCAPE

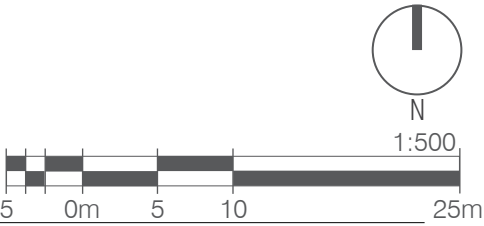
GREEN SETBACK AND STREETSCAPES | PLAN



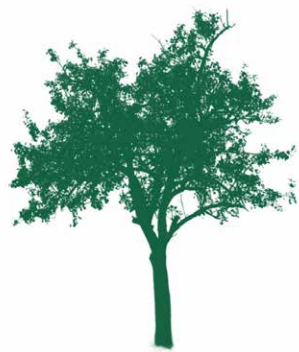
LEGEND

- Streetscape paving
- Granite unit paving
- Decking
- Lawn
- Mass planting
- Proposed tree planting

- KEY FEATURES**
- 1 Refer 2.4 Through Site Link
 - 2 Refer 2.5 Independent living courtyard
 - 3 King St trees *Caesalpinia ferrea*
 - 4 Ravenshaw St trees *Elaeocarpus eumundii*
 - 5 Bull St trees *Lophostemon confertus*
 - 6 Low shrubs and grasses green setback
 - 7 Existing London Plane trees to be removed (*Platanus acerifolia*)



GREEN SETBACK AND STREETScape | INDICATIVE PLANTING PALETTE



TREES



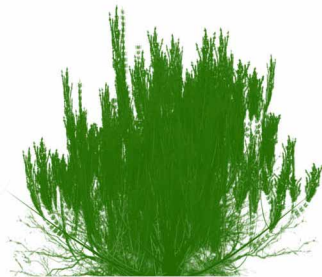
Caesalpinia ferrea



Elaeocarpus eumundii



Lophostemon confertus



SHRUB MASS



Correa alba



Philodendron xanadu



Westringia fruticosa 'Zena'



Lomandra longifolia 'Verday'



GROUNDCOVER



Myoporum parvifolium 'Yareena'



Dichondra 'Silver Falls'



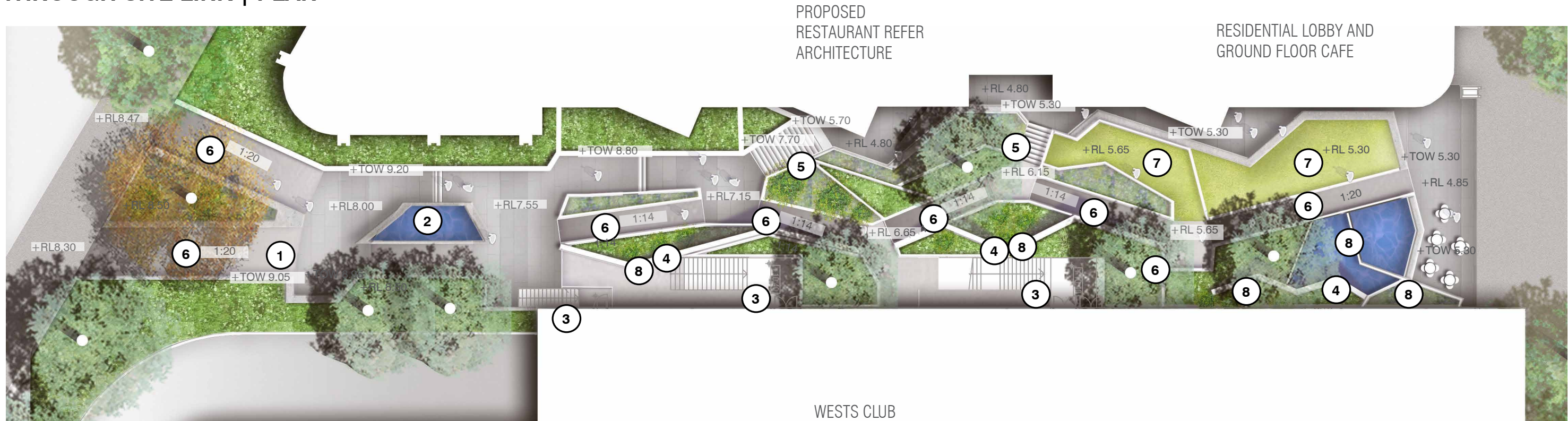
Pratia pedunculata



Juniperus sabina 'Tamariscifolia'

2.4 GROUND FLOOR | THROUGH SITE LINK

THROUGH SITE LINK | PLAN

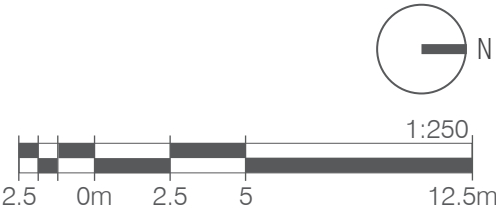


LEGEND

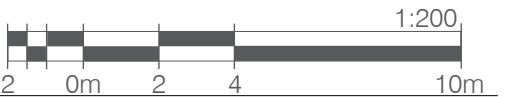
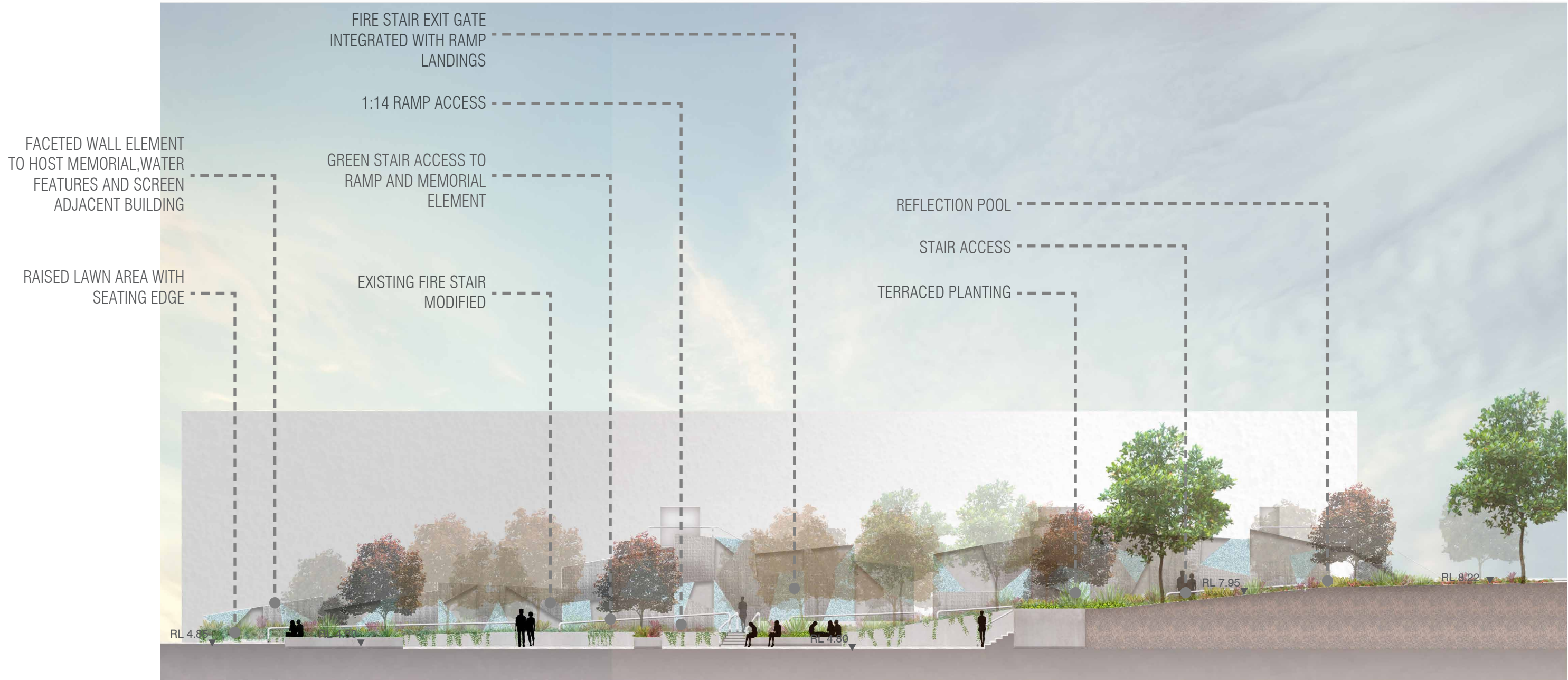
- Streetscape paving
- Granite unit paving
- Decking
- Lawn
- Mass planting
- Water feature
- Proposed tree planting

KEY FEATURES

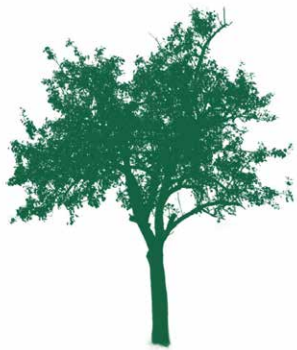
- 1 Feature tree in raised planter
- 2 Memorial reflection pool
- 3 Wests club fire egress
- 4 Feature wall to host memorial interpretation
- 5 Green staircase
- 6 DDA compliant access ramps
- 7 Lawn picnic area interfacing cafe plaza
- 8 Water feature



THROUGH SITE LINK | SECTION



THROUGH SITE LINK | INDICATIVE PLANTING PALETTE



TREES



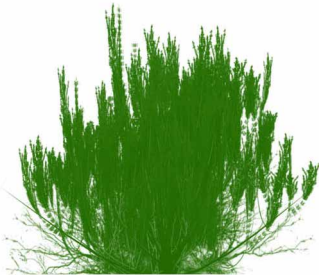
Waterhousia floribunda



Zelkova serrata 'Green Vase'



Ficus microcarpa var. 'Hilli'



SHRUB MASS



Ctananthe setosa 'Grey Star'



Philodendron xandadu



Cordyline 'Morning Diamond'



Liriope muscari 'Amethyst'



GROUNDCOVER



Viola hederacea



Dichondra 'Silver Falls'



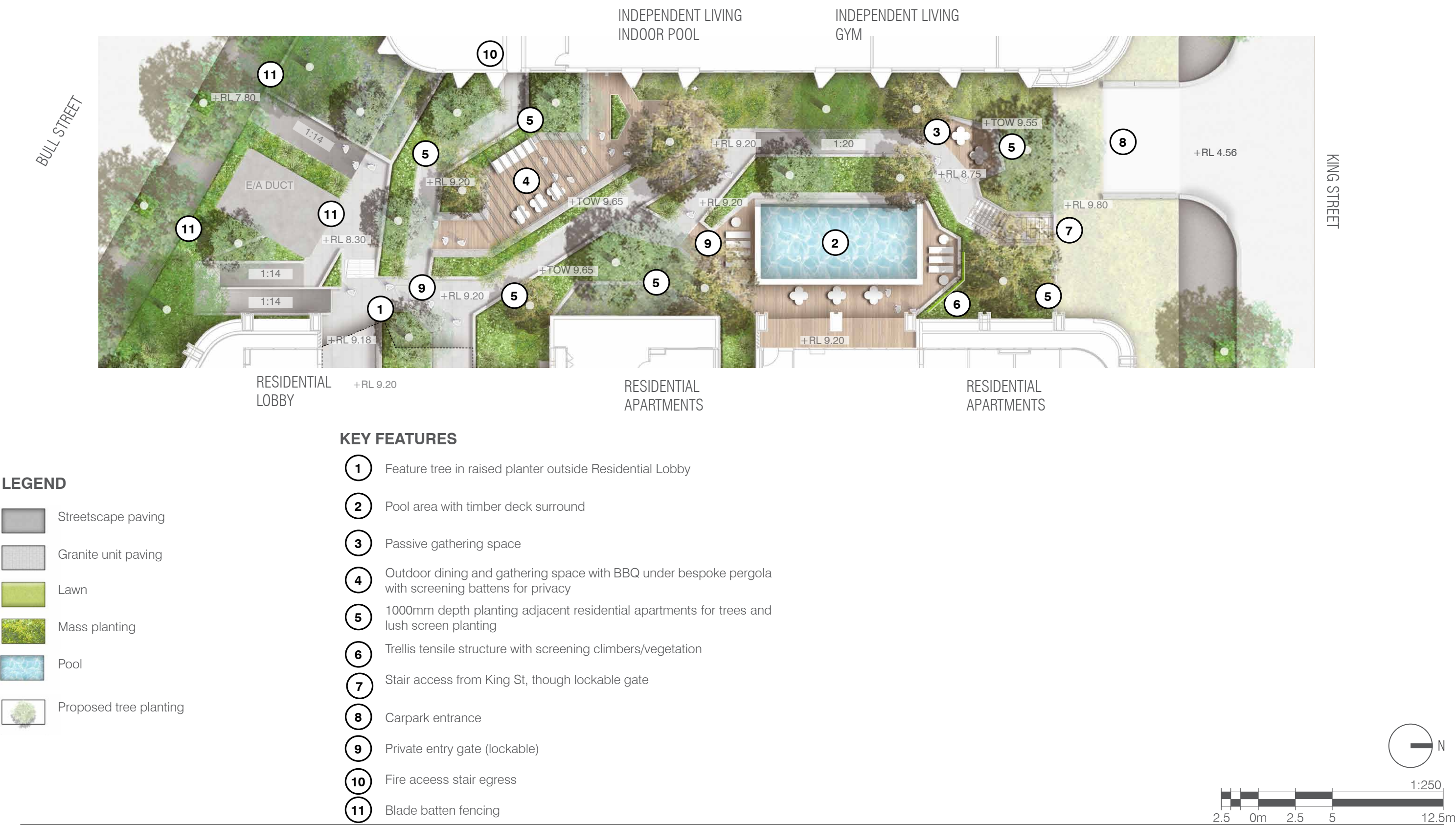
Pratia pedunculata



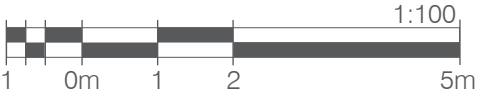
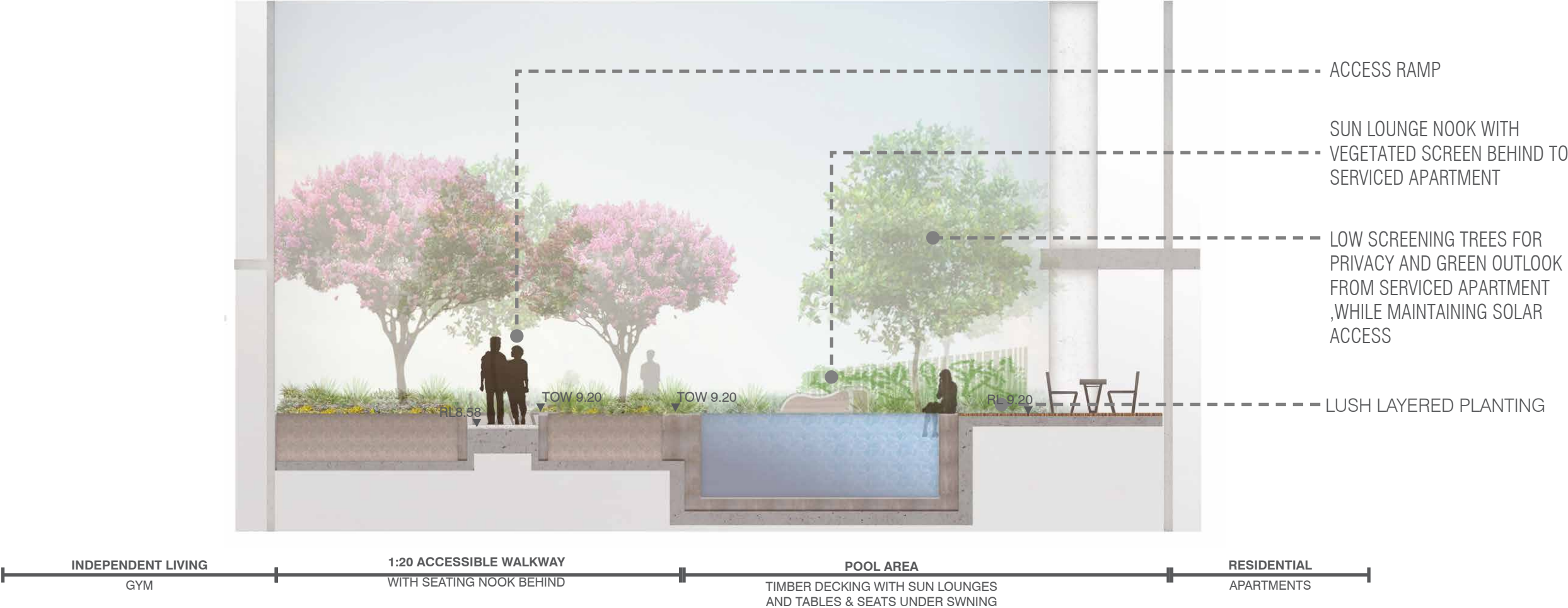
Thymus x citriodorus

2.5 LEVEL 1 - INDEPENDENT LIVING COURTYARD

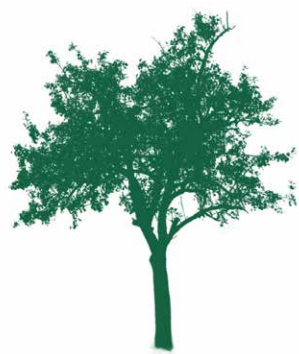
INDEPENDENT LIVING COURTYARD | PLAN



INDEPENDENT LIVING COURTYARD | SECTION



INDEPENDENT LIVING COURTYARD | INDICATIVE PLANTING PALETTE



TREES



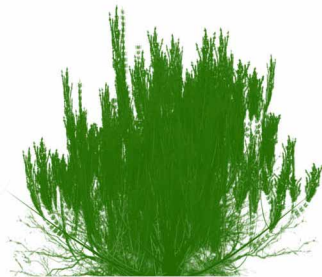
Hibiscus tiliaceus 'Rubra'



Fraxinus griffithii



Koelreuteria paniculata



SHRUB MASS



Alpinia zerumbet



Philodendron xandadu



Plectranthus argentatus



Neomarica gracilis



GROUNDCOVER + CLIMBERS



Viola hederacea



Dichondra 'Silver Falls'

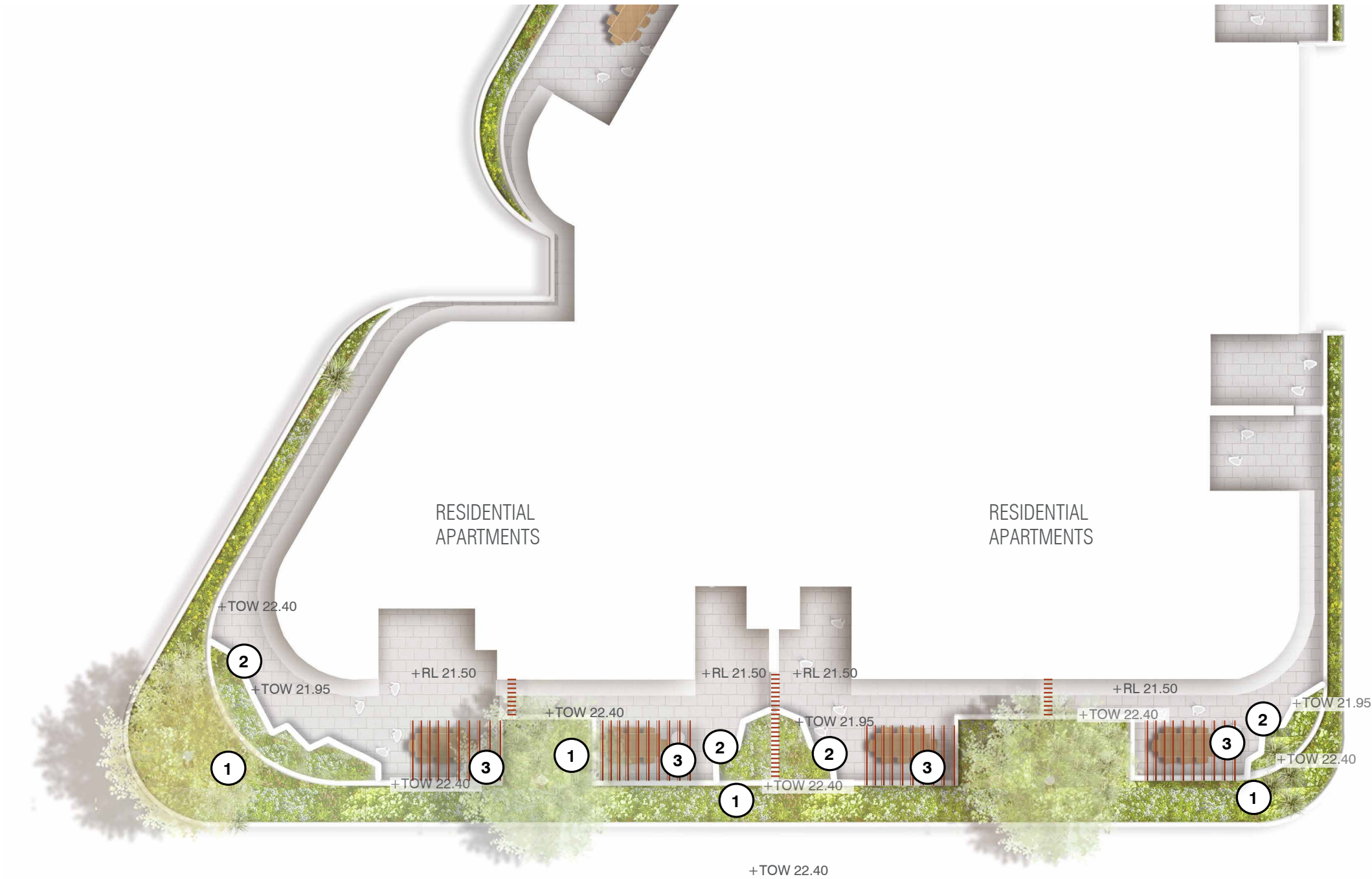


Pratia pedunculata






Trachelium

2.6 LEVEL 4 - MID RISE

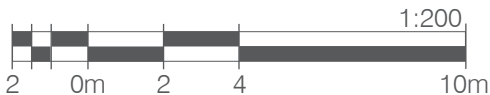


LEGEND

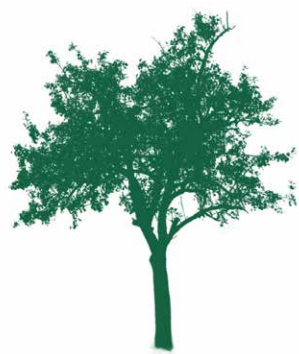
-  Granite unit paving
-  Mass planting
-  Proposed tree planting

KEY FEATURES

- 1** Lush planted edges with small shade trees
- 2** Low seating wall with tiered planting behind
- 3** Bespoke shade structure above dining area



LEVEL 4 MID RISE | INDICATIVE PLANTING PALETTE



TREES



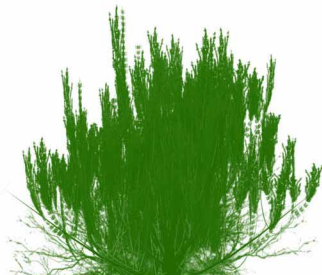
Hibiscus tiliaceus 'Rubra'



Fraxinus griffithii



Koelreuteria paniculata



SHRUB MASS



Alpinia zerumbet



Philodendron xandadu



Plectranthus argentatus



Neomarica gracilis



GROUNDCOVER



Viola hederacea



Dichondra 'Silver Falls'



Pratia pedunculata



Thymus x citriodorus

2.7 LEVEL 15 - RESIDENTIAL COMMUNAL ROOFTOP

RESIDENTIAL COMMUNAL ROOFTOP | PLAN

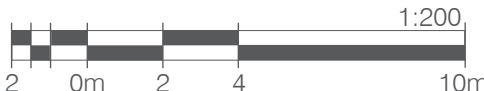


LEGEND

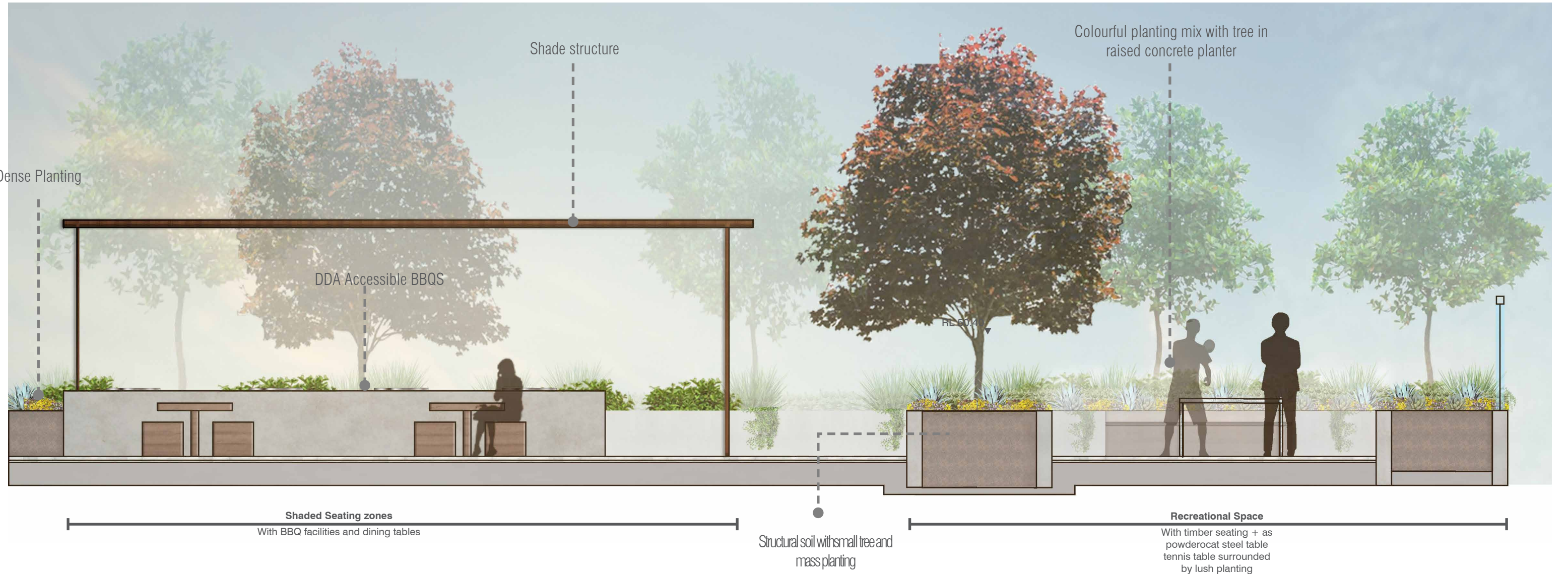
- Granite unit paving
- Decking
- Lawn
- Mass planting
- Proposed tree planting
- Decomposed Granite

KEY FEATURES

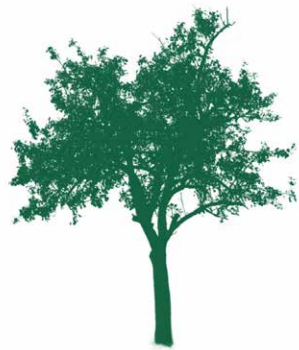
- 1 Planted edges with glass balustrade to building perimeter
- 2 Raised lawn picnic area
- 3 Seating niche enclosed by lush sensory planting
- 4 Enclosed winter garden
- 5 Undercover BBQ area with picnic setting beneath pergola structures
- 6 Table tennis area surrounded by mass planting
- 7 Raised lawn picnic area
- 8 Raised communal vegetable planters in stabilised decomposed granite area surround surrounds



RESIDENTIAL COMMUNAL ROOFTOP | SECTIONS



RESIDENTIAL COMMUNAL ROOFTOP | INDICATIVE PLANTING PALETTE



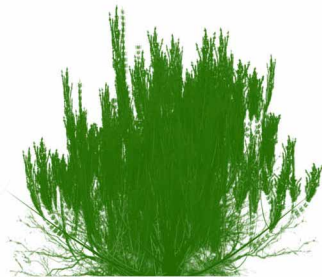
TREES



Fraxinus griffithii



Koelreuteria paniculata



SHRUB MASS



Phormium tenax



Agave attenuata



Liriope muscari 'Amethyst'



Westringia fruticosa 'Zena'



GROUNDCOVER



Myoporum parvifolium 'Yareena'



Dichondra 'Silver Falls'



Thymus x citriodorus



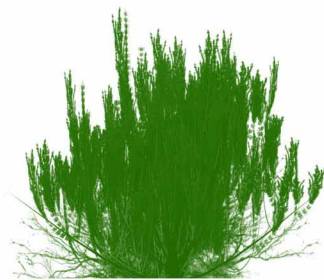
Juniperus sabina 'Tamariscifolia'

2.8 FACADE PLANTING

FACADE PLANTING | NORTH ELEVATION



FACADE PLANTING | INDICATIVE PLANTING PALETTE



SHRUB MASS



Westringia fruticosa 'Zena'



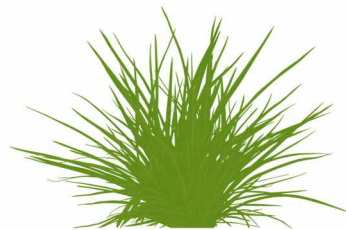
Nandina domestica 'Obsession'



Russelia equisetiformis 'Tangerine Falls'



Acacia 'Mini Cog'



VERTICAL ACCENTS



Kniphofia 'Lime Glow'



Kniphofia 'Winter Cheer'



Aloe 'Always Red'



Sanseveria trifasciata



CASCADING



Hardenbergia 'Meema'



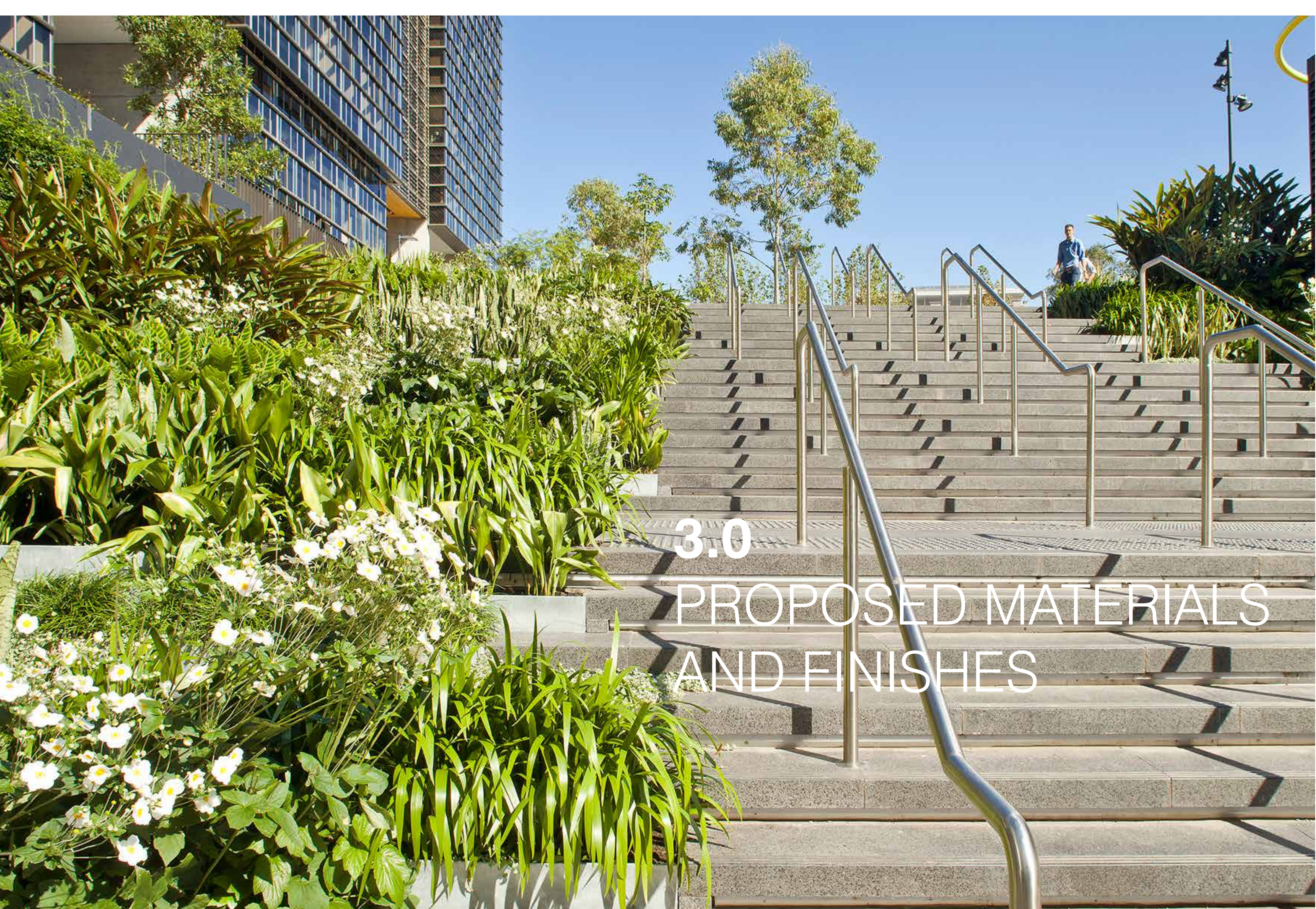
Convolvulus sabatius 'Two Moons'



Carprobrutus glaucescens



Juniperus conferta 'All Gold'



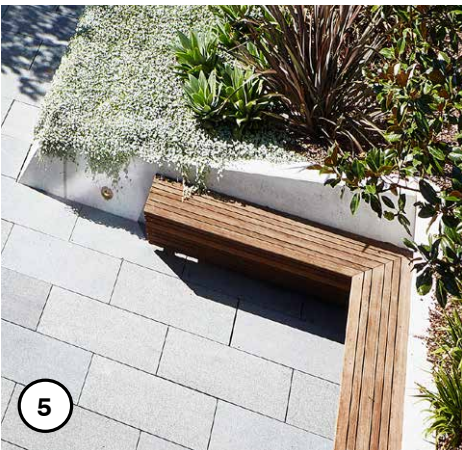
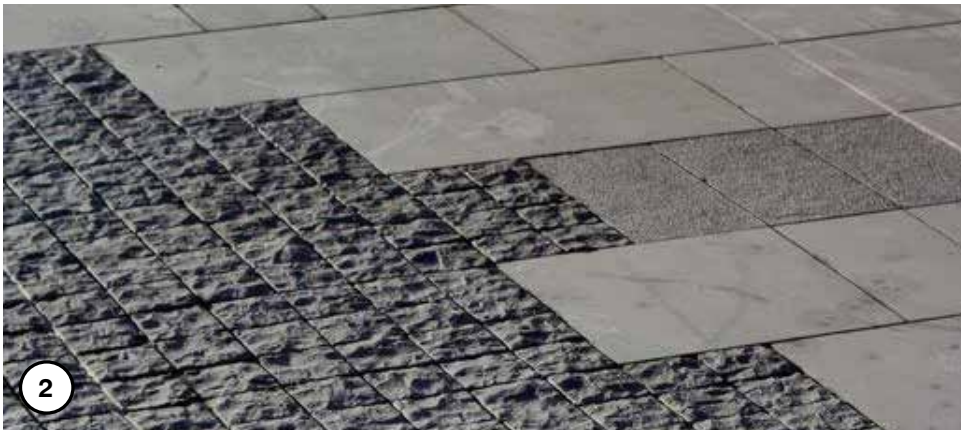
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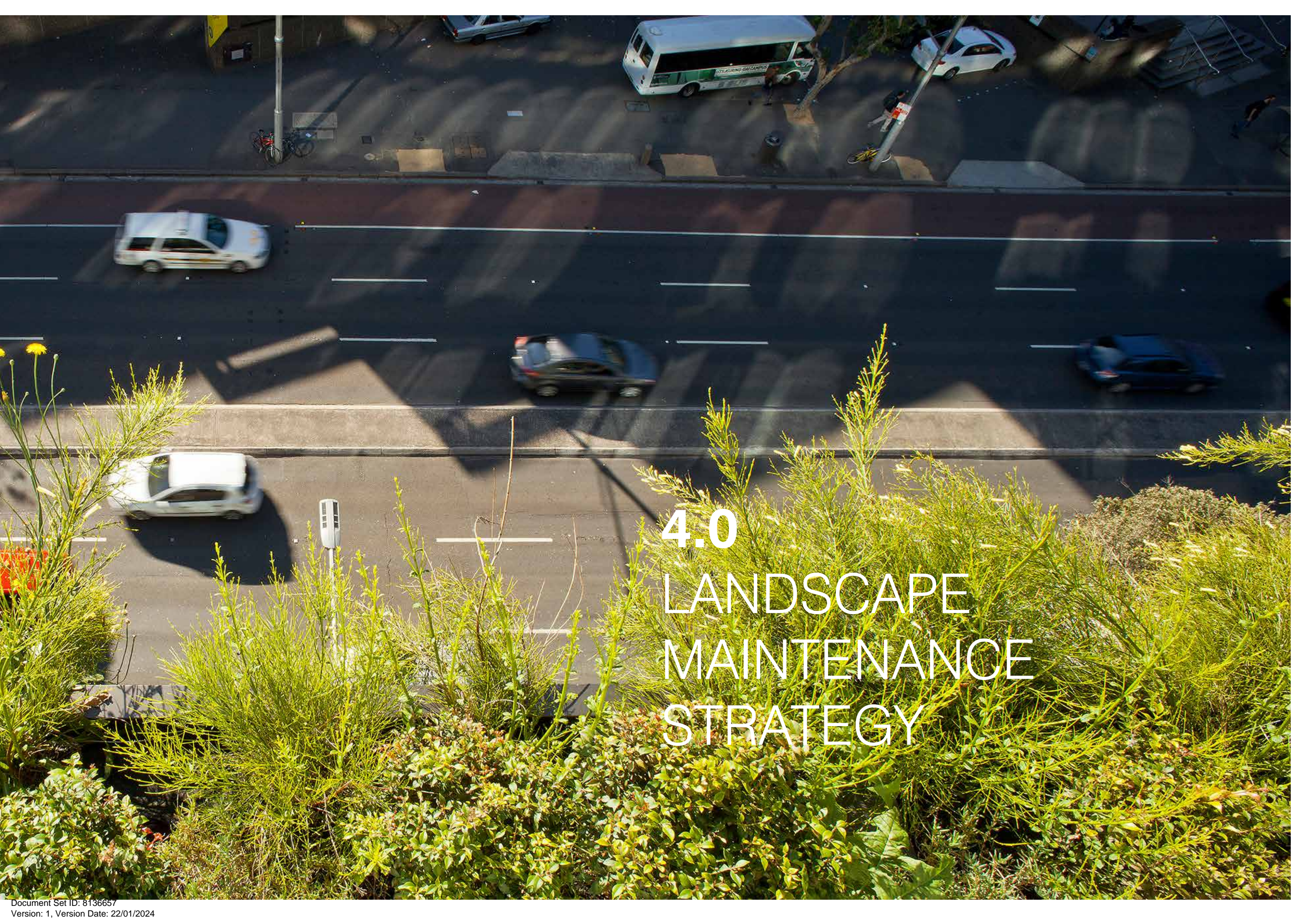
PROPOSED MATERIALS
AND FINISHES

3.1 PROPOSED MATERIALS AND FINISHES

A select number of traditional building materials (concrete, steel and timber), have been chosen for the landscape terraces to complement the architectural design to create comfortable, inhabitable spaces. These simple materials, in neutral tones, aim to create structure that will sit beneath a verdant display of greenery covering the building.

Image	Material	Description
01	Asphalt Paving	Streetscape paving in accordance with City of Newcastle Public Domain guidelines
02	Granite Unit Paving	Natural stone pavers in a variety of textures and unit sizes
03	Timber Decking	Mod-wood or similar decking product
04	Water features	Reflection pool and memorial water wall
05	Custom Seating	Concrete seating benches with natural timber inlays
06	Custom Picnic settings	Natural timber with powdercoated steel frame
07	Custom Shelters	Natural timber with powdercoated steel frame
08	Concrete planter walls	Faceted concrete walls in exposed aggregate finish
09	Lighting	Lighting to comply with AS1158.3.2 and AS4282

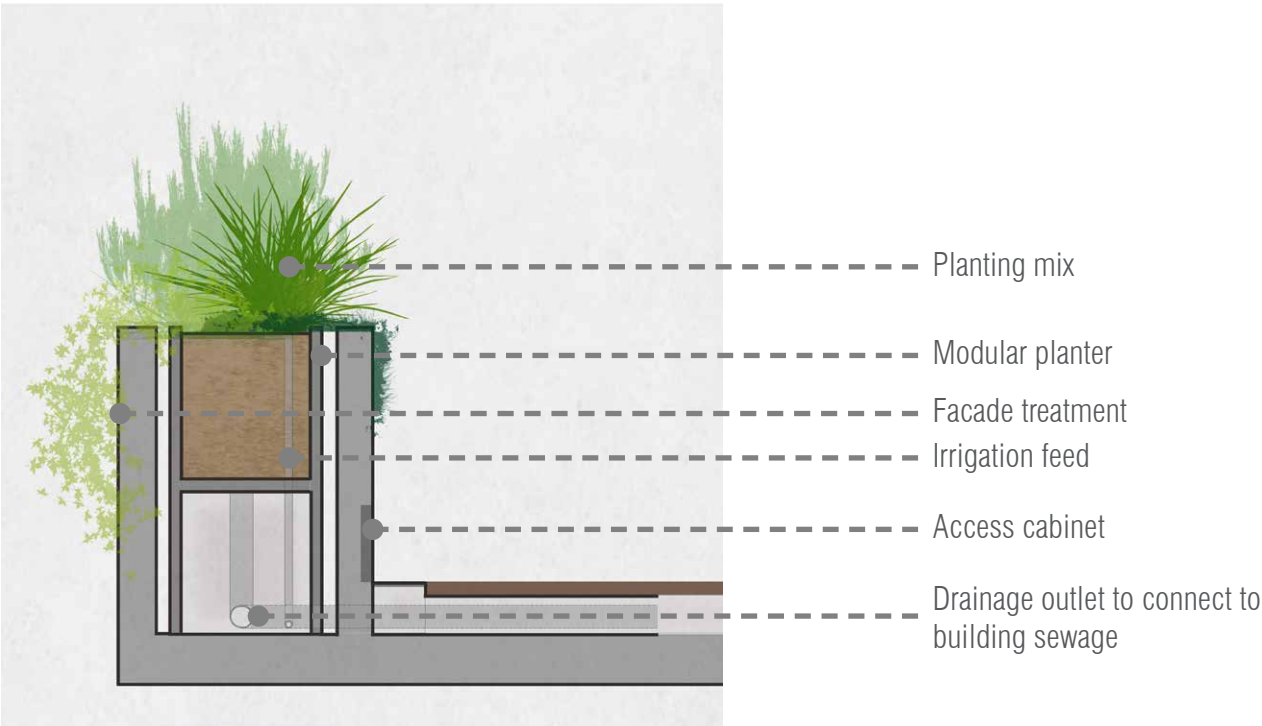
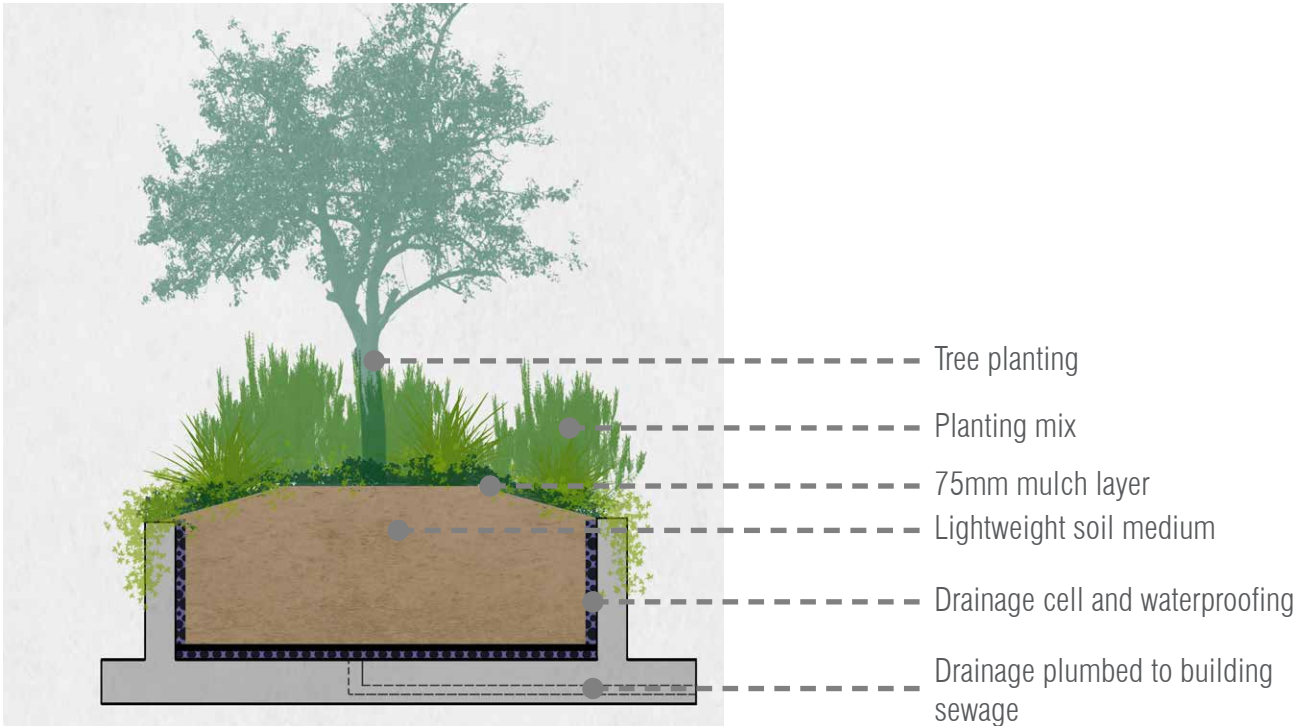




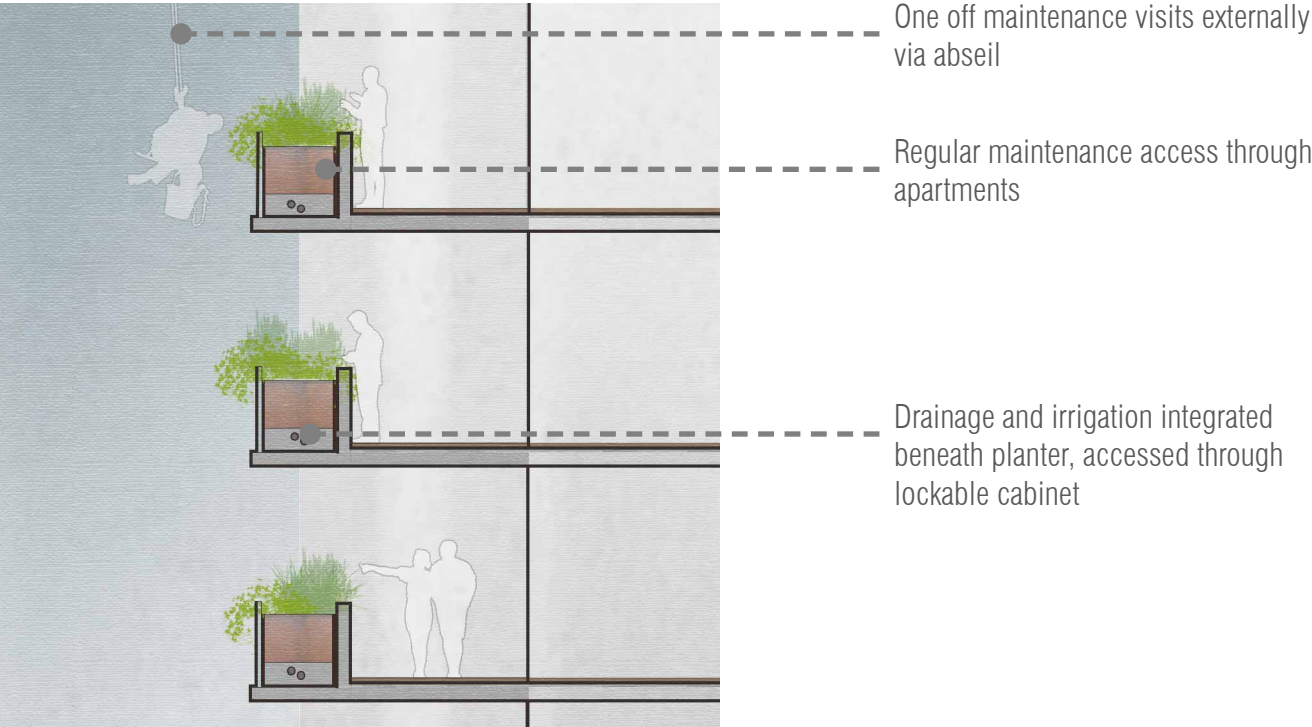
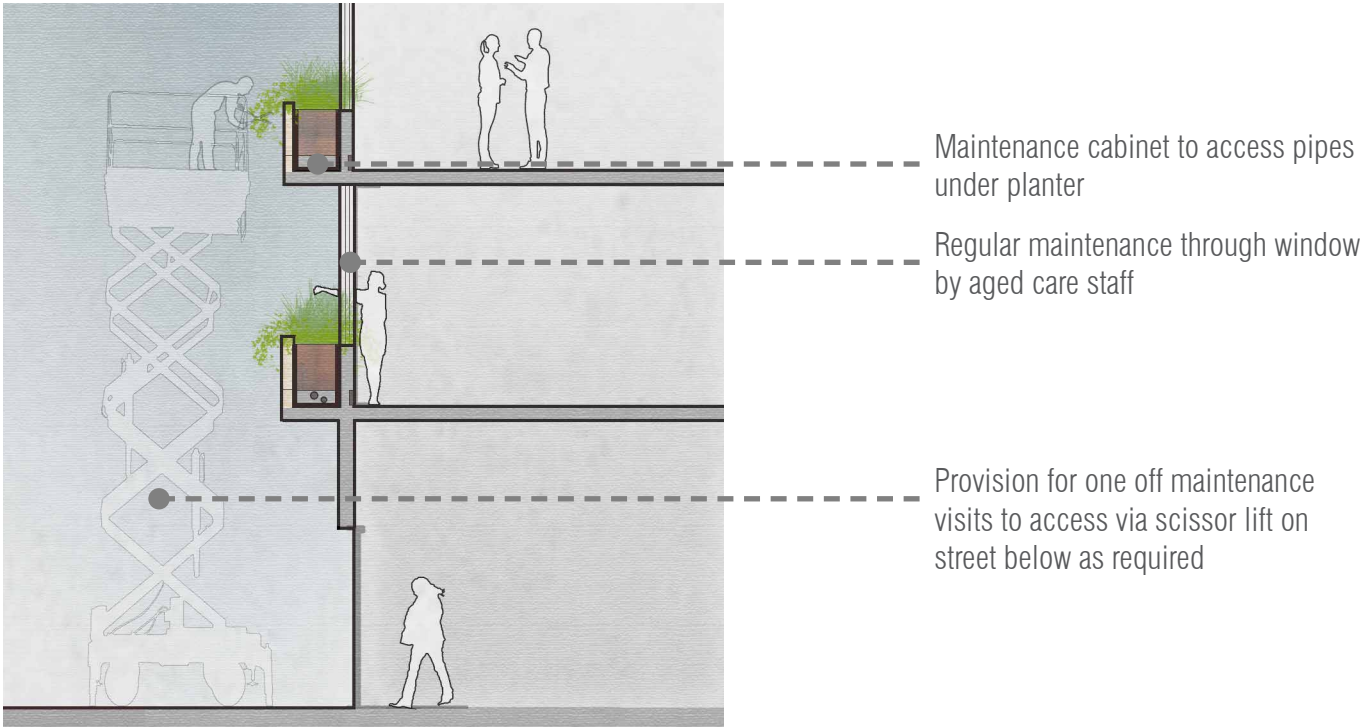
4.0 LANDSCAPE MAINTENANCE STRATEGY

4.1 PLANTER DESIGN MAINTENANCE ACCESS CONSIDERATIONS

INDICATIVE FACADE PLANTER DETAILS



INDICATIVE MAINTENANCE ACCESS CONSIDERATIONS



4.2 MAINTENANCE SCHEDULE

PLANTER SYSTEMS



FACADE PLANTERS

- Modular planters recessed into balustrade walls with maintenance access cabinets
- Connected to irrigation system in basement for optimal dosage of water and nutrients year round
- Irrigation from harvested rainwater (topped up with potable when required)
- Rainwater outlets plumbed to building drainage
- Wifi controlled irrigation system, with ability to control each facade separately
- Moisture sensors in planter boxes to ensure irrigation is applied efficiently for optimal plant growth / minimal water use
- Planting carefully selected to suit soil volume and environmental constraints



TERRACE PLANTERS

- Built in concrete planter walls on structure
- Layered, full planting arrangements
- Irrigation from basement rainwater tank (topped up with potable when required)
- Connected to automated irrigation system for optimal dosage of water and nutrients year round
- Soil depths adequate to support varying plant typologies, in accordance with Apartment Design Guidelines
- Rainwater outlets plumbed to building drainage

MAINTENANCE SCHEDULE

Façade Planters		
Low maintenance small shrubs, ground covers and cascading		
Maintenance Action	Timing	Access and monitoring considerations
Monitoring of plant health	Min. monthly inspections in person. SMS notification system constant	Close visual access, supplemented with SMS notifications from monitoring system (moisture sensors, irrigation / drainage failures etc) Residents can also report plant deaths directly to body corporate
General pruning of plant material (including cutting back, dead heading flowers and removal of dead plant material)	Minimum twice per year / as required	Physical access (two hands) to cut stems with secateurs Removal of green waste
Replacement of dead plants with new plant stock	As required for sporadic plant failure General life expectancy of plants minum 10 years.	Physical access (two hands) to install plants Transport plant stock and potting media to planters Removal of green waste
Hand weeding	Min. monthly during establishment then min. once per season as required	Physical access (two hands) to cut stems with secateurs Removal of green waste
Pest and disease control	Ongoing Min. monthly during establishment then min. once per season as required	Access for application of treatment (i.e. spray gun) Implementation of IPM system for healthy habitat Removal of infected material and transportation of green waste off site
Maintenance of mulch matt	Monitor and upkeep monthly Replacement only required if soil and planting replaced	Access to surface of planter Transportation of new mulch matt for replacements Removal of spent fabric off site
Maintenance of irrigation infrastructure	Min. monthly inspections in person. SMS notification system constant	Access to irrigation lines located under surface of mulch matt
Maintenance of drainage infrastructure	Min. monthly inspections in person. SMS notification system constant	Access to outlet under planter box (via surface inspection pit) Transport tools (i.e. handheld drain snake) Removal of debris and transportation of waste off site
Removal of litter	Monitor and upkeep monthly	Access to void between building and planter Removal of debris and transportation of waste off site
Replacement of soil media	Monitor and top up monthly if required Full soil replacement every 10-15 years	Remove full volume of planter media Transport in new soil planter media

Terrace Planters		
Small trees, large flowering shrubs, grasses and groundcovers		
Maintenance Action	Access considerations	Access considerations
Monitoring of plant health	Min. monthly inspections in person. SMS notification system constant	Visual access
Formative / hazard pruning of trees	Minimum twice per year / as required	Physical access (two hands) to cut stems with secateurs Removal of woody green waste (heavy / bulky)
Hedging and cutting back of shrubs	Minimum twice per year / as required	Physical access (two hands) to cut stems with secateurs Removal of green waste (bulky)
General pruning of plant material (including cutting back, dead heading flowers and removal of dead plant material)	Minimum twice per year / as required	Physical access (two hands) to cut stems with secateurs Removal of green waste
Replacement of dead plants with new plant stock	As required for sporadic plant failure General life expectancy of plants minum 10 years.	Physical access (two hands) to install plants Transport plant stock and potting media to planters Removal of green waste
Replacement of dead or damaged trees	As required for sporadic plant failure General life expectancy of trees 30+ years.	Mobile Crane, parked on street below (suitable for up to 200L replacement stock) Removable of soil to accommodate new tree planting Removal of green waste
Hand weeding	Min. monthly during establishment then min. once per season as required	Physical access (two hands) to cut stems with secateurs Removal of green waste
Pest and disease control	Ongoing Min. monthly during establishment then min. once per season as required	Access for application of treatment (i.e. spray gun) Implementation of IPM system for healthy habitat Removal of infected material and transportation of green waste off site
Maintenance of mulch	Monitor and upkeep monthly Replacement only required if soil and planting replaced	Access to surface of planter Transportation of new mulch matt for replacements Removal of spent fabric off site
Maintenance of irrigation infrastructure	Min. monthly inspections in person. SMS notification system constant	Access to irrigation lines located under surface of mulch matt
Maintenance of drainage infrastructure	Min. monthly inspections in person. SMS notification system constant	Access to outlet under planter box (via inspection pit) Transport tools (i.e. handheld drain snake) Removal of debris and transportation of waste off site
Removal of litter	Monitor and upkeep monthly	Access to void between building and planter Removal of debris and transportation of waste off site
Replacement of soil media	Monitor and top up monthly if required Full soil replacement every 10-15 years	Remove full volume of planter media Transport in new soil planter media (for amelioration, top up or full replacement if required)